

FORM

ARCHITECTURE

NELSON
RESIDENCE

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PROJECT DATA:

Occupancy Group: R-1
 Construction Type: Type VB
 Zoning:
 Lot Area:
 Jurisdiction:

ADDRESS:

xxxxxxx

xxxxxxx

PARCEL NUMBER: xxxxxxxx

OWNER

xxxxxxx

xxxxxxxxx

xxxxxxxxxxx

ARCHITECT

ARCHITECT:

Form Architecture Inc.
 1415 W 3rd Ave Suite 201
 Spokane, WA 99204
 Phone: 509.835.3676

CONTRACTOR

xxxxxxx

xxxxxxx

xxxxxxxxxxx

APPLICABLE CODES:

2018 IRC International Residential Code
 2014 NEC International Electrical Code
 2015 MEC International Mechanical Code
 2015 IECC International Energy Code

Contractor to verify local municipalities code additions and any other specific local codes

Area Schedule (Gross Building)

Name	Area
Conditioned Space	2880 SF
Rear Porch	1031 SF
Guest Porch	199 SF
Front Porch	227 SF
3 Car Garage	997 SF

DIVISION 1 – GENERAL CONDITIONS

The contractor shall provide and pay for all materials, labor tools and other items necessary to complete the work. All materials shall be new and both workmanship and materials shall be of good quality. All workmen and subcontractors shall be skilled in their trade. The Contractor shall be responsible for safe, proper and lawful construction; and shall construct in the best and most workman like manner in a complete structure and everything properly incidental thereto, as shown on the Plans or responsibly implied. The Contractor shall project the work and be responsible for any damage or injury due to his act or neglect. The Contract shall keep the premises free from accumulation of waste materials at all times. Measurements must be taken on the job before erection or fabrication. Extra compensation will not be allowed because of differences between job and Drawings which have not been brought to the attention of the Architect prior to starting work.

Material, equipment and workmanship of all trades shall conform to recognize standards of good quality of the respective grade. Materials and equipment shall be new, sound of good quality and suitable for the specific applications. They shall be positioned in orderly manner and shall be aligned with the building structure. Vertical members shall be plumb, horizontal, level and surfaces true to plane. Workmanship shall be neat, clean and true to line dimensions. Finish materials shall be free of tool marks, flaws and blemishes. Joinery and connections shall be accurate, close-fitting and well made. Tolerances by recognized national trade associations will be the minimum acceptable standard of respective trade work.

C. TOILET FACILITIES

The Contractor shall provide temporary toilet facilities at the job site for use by employees and subcontractors.

D. PERMITS AND FEES

The Contractor shall pay for all Plan check and building fees associated with the work to be performed. In addition, the Contractor shall submit Plans for review by governmental agencies. The Contractor shall pay for all electrical, water, sewer and natural gas connection fees required for this project.

E. CODES

Conform to all codes and regulations having jurisdiction over this project, including the International Building Code, local codes and applicable Mechanical and Electrical Codes. Construction shall conform to the International Building Code as modified and adapted by the local municipality. Details and conditions noted as typical shall be Incorporated Into the project at all appropriate locations, whether specifically indicated or not.

F. WORKMANSHIP

If, in the Contractor's opinion, any work shown on Drawings or Specification is in such a manner to make it impossible to produce a high caliber of workmanship, such conditions shall be referred to the Architect for clarification. Failure to notify the Architect of such conditions and proceedings with work shall be cause for rejection of work and must be reworked or reinstalled in acceptable manner at no extra cost to the Developer. Cutting or repairing work in place, necessary because of progress of work or negligence of the Contractor, shall be paid for by the Contractor responsible for the work in progress or the

G. CONDITIONS, COVENANTS AND RESTRICTIONS

The Contractor shall obtain guidelines for the construction in the neighborhood and shall conform to the requirements contained therein. The Contractor shall comply with all fencing, staking and inspection requirements of neighborhood review committee. A wire fence shall be erected at the perimeter of the recorded building envelope as required by Design Guidelines. No workman, contractor or subcontractor shall disturb any portion at the site beyond the limits at the buildable envelope. The Contractor shall comply with the Conditions, Covenants and Restriction (CC&R) guidelines regarding hours at work and noise abatement.

H. GUARANTEE

The General Contractor shall guarantee his work for a period at two years from the date at substantial completion. Should defects develop within the guarantee period, due to faults in materials and/or workmanship, the Contractor shall made all repairs and do all necessary work as soon as possible.

DIVISION 2 – SITE WORK

A. SCOPE

The Contractor shall be responsible for the accuracy of the topographical grades, building lines and levels. The Contractor shall compare the information shown on the documents with existing levels, conditions for the location.

Orientation and general siting at the building is to be adjusted within governing zoning and subdivision setbacks as site conditions dictate. The Contractor shall coordinate such adjustments with the Developer prior to proceeding with the work.

The Contractor shall take all necessary measures to fully protect adjacent properties. The Contractor shall disturb as little native vegetation as possible.

The work consist of furnishing all labor, equipment and materials; and performing all operations of earth work.

B. EXCAVATION

Excavations for footings shall be carried to a minimum of 18" into undisturbed native soil and, if practical, footing trenches shall be cut to the exact size at the concrete. All debris and large stones encountered and all materials not required or deemed unsuitable shall be removed. Bottoms at footings shall be finished with level bottoms bearing on solid ground, free of loose earth. Excavations shall be kept free of standing water. Where excavations are made to depth and sizes greater than required such additional area shall be filled with concrete, as specified for footings. All excavation work shall conform to the requirements of the Project Soils Report as prepared by Soils Engineer.

C. FILL AND BACKFILL

Fill materials shall be free from debris, organic matter and other substances. Backfilling for trenches shall be compacted to 95% density. Backfill for pipe trenches shall be compacted on both sides of pipe in 6" layers. All trades shall backfill their trenches, unless otherwise directed. Trenches for utility lines outside the building shell shall be water settled and compacted after services are installed.

D. CONCRETE SLAB BASE COURSE

Fill material shall consist at river run sand devoid at debris, vegetable matter, other foreign substances and rocks averaging 2" inches in size. Material shall be machine compacted with sufficient moisture to obtain 95% density.

I. GENERAL GRADING AND DRAINAGE

Slope temporary construction grades and finish away from building and provide adequate drainage in all areas.

F. SOIL TREATMENT

Provide an effective pre-construction subterranean termite treatment in municipalities that require it. Treat all areas under all slabs, including Garage and porch slabs. If concrete slab is not poured over treated area the same day, cover areas with polyethylene sheeting. Treat base of foundations, plumbing and mechanical penetrations. Provide certificate at performance from approved company insuring the Owner against damage from termites for five years. Any evidence at termites shall result in an effective re-treatment at no cost to the Owner. Guarantee shall include payment for repair or replacement at damaged material, finishes and construction.

DIVISION 3 – CONCRETE

A. GENERAL

1. Footings shall bear on firm undisturbed native soil a minimum as required by the local jurisdiction* into existing undisturbed soil. Compaction of existing sub-grade and required fill materials should per A.S.I.M. 0898 to the specified percent of maximum density at optimum moisture content.

2. Provide positive drainage away from building foundations for ten feet minimum.

A. CONCRETE

Refer to General Structural Notes.

B. REINFORCING

Refer to General Structural Notes.

C. SUPPLEMENT NOTES

- Verify all dimensions and conditions prior to starting work. Notify the Architect of any discrepancies or inconsistencies.
- Verify in field all existing conditions shown on Drawings.
- Establish and verify all openings and inserts for mechanical, electrical and plumbing with appropriate trades' drawings. Where cutting is necessary, use appropriate concrete or masonry saw.
- Provide all necessary temporary bracing, shoring, guying or other means to avoid excessive stresses and to hold structural elements in place during construction.
- The cost of additional design work, due to errors or omissions in construction, shall be borne by the Contractor.
- Any engineering design provided by others and submitted for review shall bear the seal and of the Engineer currently registered in the projects municipalities.
- Details on the structural drawings are typical. Incorporated details at all appropriate locations.

DIVISION 4 – MASONRY

Refer to General Structural Notes.

DIVISION 5 – METALS

Steel shall be designed, fabricated and erected in accordance with the Specifications for the Design, Fabrication and Erection of Structural Steel for Building, and the Code of Standard Practice as adapted by the A.L.S.C.

DIVISION 6 – WOOD AND PLASTIC

A. ROUGH CARPENTRY

Refer to General Structural Notes.

B. FINISH CARPENTRY

Furnish and install all finish carpentry complete, including: Door frames, trim, shelving, etc. installation of doors, finish hardware, bath accessories, etc. Door frames shall be kiln dried vertical grain Douglas Fir, B grade or better. Door frames and steps shall be clear Pine, unless otherwise indicated, with all trim members being in longest practical lengths. Shelving: AD 3/4" Douglas Fir plywood with edge band or 1x clear pine. Wood Base: Match existing

All work shot be accurately cut and scribed to fit adjoining surfaces. Use longest practical continuous boards or lengths wherever possible, applicably or specifically noted. All joints shall be right and true with neatly mitered, butted or coped connections. Securely fasten all joints with nails set and leave surfaces free of tool marks. Each door shall be set, accurately cut, trimmed and fitted to its respective frame and hardware. Doors shall operate freely without sticking, binding or hinge bound conditions; and with all hardware adjusted to assure proper functioning. Entire assemblage and fitting shall make due allowance for paint finish and finish door covering. All work shall be sanded, by machine or by hand, with sharp edges and splinters removed. Leave all work completely prepared for finish.

C. MILLWORK AND CARPENTRY - Per Builder Standards

- General: Furnish and install all cabinet work complete, including casework, plastic laminate and case hardware. Design all layouts, design, detailing, assembly, etc. based upon criteria as selected by the Owner and provided by an authorized supplier of factory manufactured cabinet systems. All layouts represented on Drawings are preliminary only and shall be reviewed by the Owner and manufacturer.
- Materials: Cabinetry work shall be custom grade, in conformance with Architectural Woodworkers Institute of California. Cabinets shall be factory made cabinets with European style single door panels.
- Workmanship: All joints shall be tight and true with neatly mitered, butted or coped connections. Securely fasten all joints with nails set and leave surfaces free of tool marks. Use concealed fastenings where possible. Secured to grounds, blocking, etc. as required for a complete installation. Install all work level, plumb and true. Scribe as required to accurately fit

DIVISION 7 – THERMAL AND MOISTURE PROTECTION

A. BUILT-UP ROOFING

1. Built-up roof shall be 4-ply roof system installed over firm, dry and dean deck, per UDC, adhesively secured

2. Materials of Construction:

- Base Sheet: Minimum 25 lbs. base felt
- Finish Felts: Three 11/14' felts
- Asphalt: Hat mopped at 50 pounds/100 s.f.
- Coating: Desert Tan

3. Roof deck shall be firm, dry and clean. Commencement of work indicates the Contractor's acceptance of the roof surface. Installation of metal fittings and similar work shall be completed before deck is acceptable.

4. Roof deck shall be properly graded to drain. Crickets shall be installed as required. Roof shall be constructed to drain completely.

5. Provide roofers warranty for the roof system against leaks. Repair of roof within the guarantee period shall be at no cost to the Owner.

B. SHEET METAL FLASHING

- Install sheet metal flashing as indicated, constructed of 28 gauge galvanized iron.
- Provide 1 metal flashing at back of parapets at roof flashing.

C. INSULATION

Batt insulation shall be installed continuous, securely anchored to structure in thickness indicated at locations specified:

- At Exterior Walls: 5-1/2" full thickness batt blankets (R-19 min)
- At Ceilings: Full thickness batt blankets (R-38 min)
- Toilet Rooms: Full thickness sound attenuation batts

D. STUCCO

Plaster; Exterior coating shall be Western One Kote or equal. Stucco shall be delivered to the job site in factory sealed bags, either premixed or in concentrated form requiring only the addition of a measured amount of plaster, sand and clean potable water.

Lath and Accessories; 2.5 or 1.75 flat diamond mesh lath, either galvanized or coated with rust resistant paint 1-1/2" x 17 gauge or 1' x 20' gauge galvanized stucco netting.

Accessories; Casing bead, drip/weep screed, expansion joints, etc. shall be galvanized metal. Provide additional wire lath at all exterior corners.

Accessory items shall be installed straight and plumb and secured to the framing members, or tied to the lath or netting with galvanized tie wire.

Provide 1 metal, weep screed at the concrete line or anywhere the plaster terminates, but does not abut another material. Casing bead is required at areas where plaster abuts a dissimilar material.

Workmanship: All openings (doors, windows, etc.) should be fitted with flashing's prior to the application of any exterior finishes, to prevent possible moisture penetration.

After the Western One Kote stucco is installed and has taken its' initial set, it should be water cured by lightly fogging or misting the walls for a minimum of 48 hours. This is important, to ensure that the material obtains its full strength and help to ensure against drying or shrinking cracks.

4. Protection and Application:

- Protection: Project work of other trades, repair and replace any damaged or soiled work.
- Application: 3/8" scratch coat, one part masonry cement to 2-1/2 parts sand. Final coat 1/4" Use silica sand, final coat applied per Portland Cement Association Plasterer Manual. Install metal trim at all exposed edges and at intersections with dissimilar materials.

B. GYPSUM WALLBOARD

Provide gypsum wallboard at all wall and ceiling surfaces indicated in Drawings, complete with all appropriate expansion joints, casing, trim, metal edges and accessories. Gypsum wallboard shall have tapered edges and shall conform to A.S.T.M. C-36. Provide square exterior corner beads throughout. Provide 1/2" water resistant gypsum wallboard at all 'wet' locations. Seal and tape wallboard in accordance with manufacturers recommendations. Finish with custom hand applied texture. (Hawk & trowel). Finish as specified by Builder Standards. Install 5/8" type X gypsum board, over wood studs at 16" O.C. at wall separating Garage and Living areas of Residence where Indicated on Drawings.

C. PAINTING

Painting materials shall be equal to Dunn-Edwards Points. Complete coverage is required, regardless of the number of coats specified. Initiation of painting by the painter shall be evidence that he believes that the painting materials are suitable and that the surfaces are properly prepared to receive paint. Do not exceed manufacturer's recommendations for thinning or time between coats.

1 Specifications

1/4" = 1'-0"

3 Design Criteria

1/4" = 1'-0"

- GOVERNING CODES:**
- 2018 INTERNATIONAL RESIDENTIAL CODE
 - ASCE 7-15
 - 2015 NDS AND SDPWS

- DESIGN LOADS:**
- GRAVITY**
 - Roof Dead 15 PSF
 - Roof Snow 55 PSF
 - Roof Live 40 PSF
 - Floor Dead 15 PSF
 - Deck Live 60 PSF

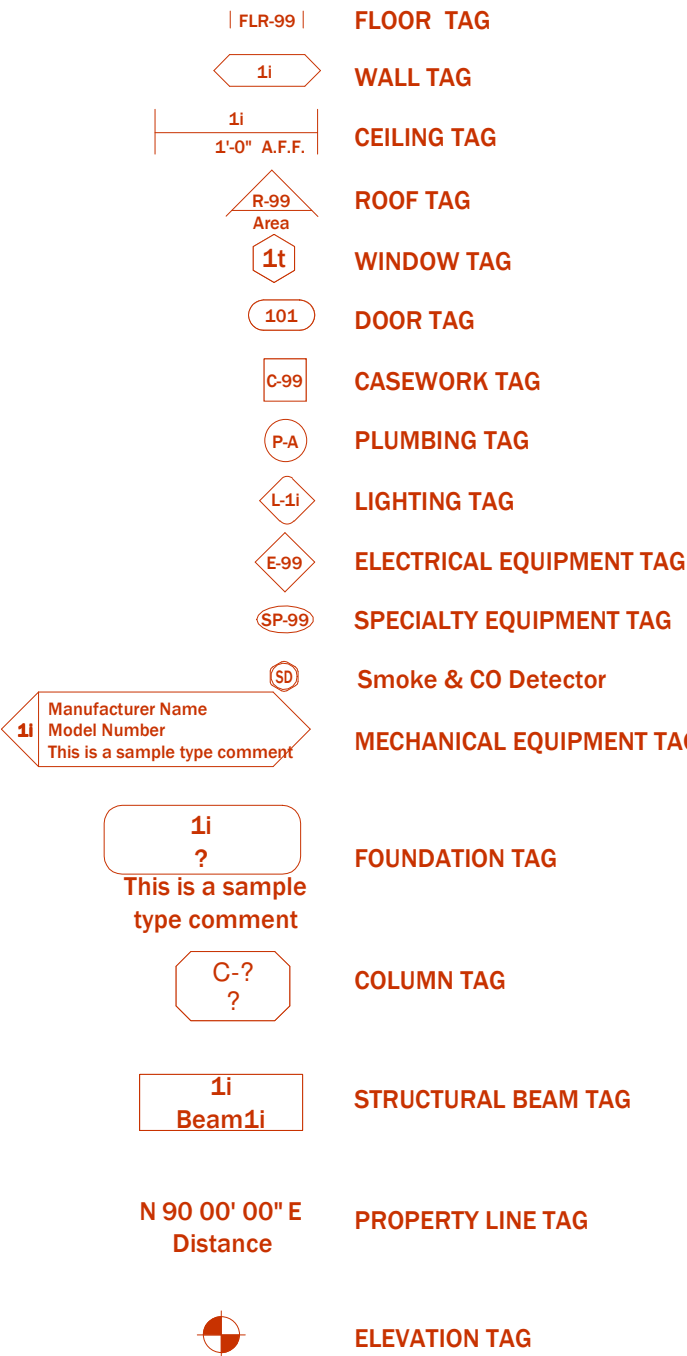
- WIND**
 - Wind Speed 105 mph
 - Exposure C

- SEISMIC**
 - Design Category C
 - Site Class D - Assumed

- GEOTECHNICAL:**
- Geotechnical information has not been supplied as such the following values have been assumed.
 - Allowable Bearing Pressure1,500 psf

Symbols

1/4" = 1'-0"



2 Model Energy Code U Values

1/4" = 1'-0"

Windows - Dual Glazed

Fixed Windows	.23
Operable Widows	.28

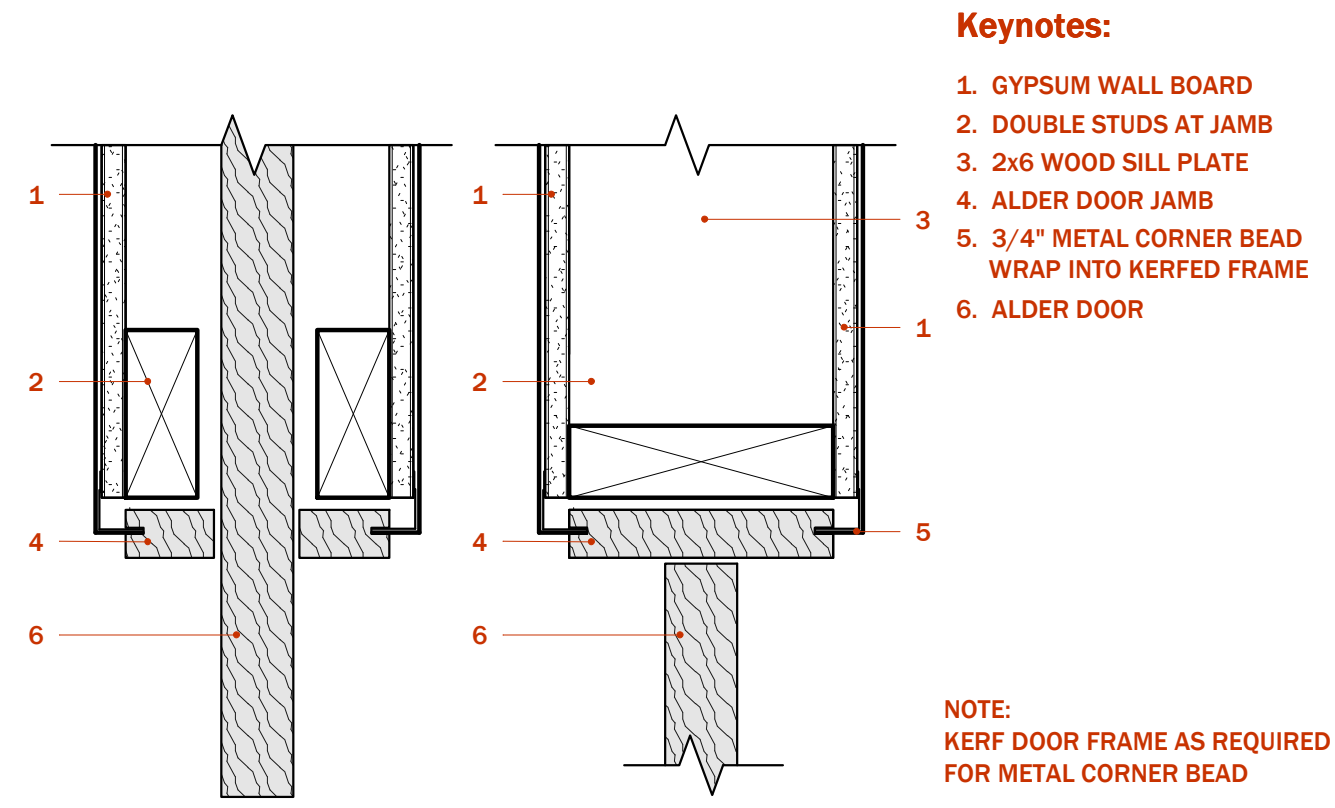
Doors

1-1/2" Thick Wood	.40
Sliding Glass Doors	.28
French Doors	.31

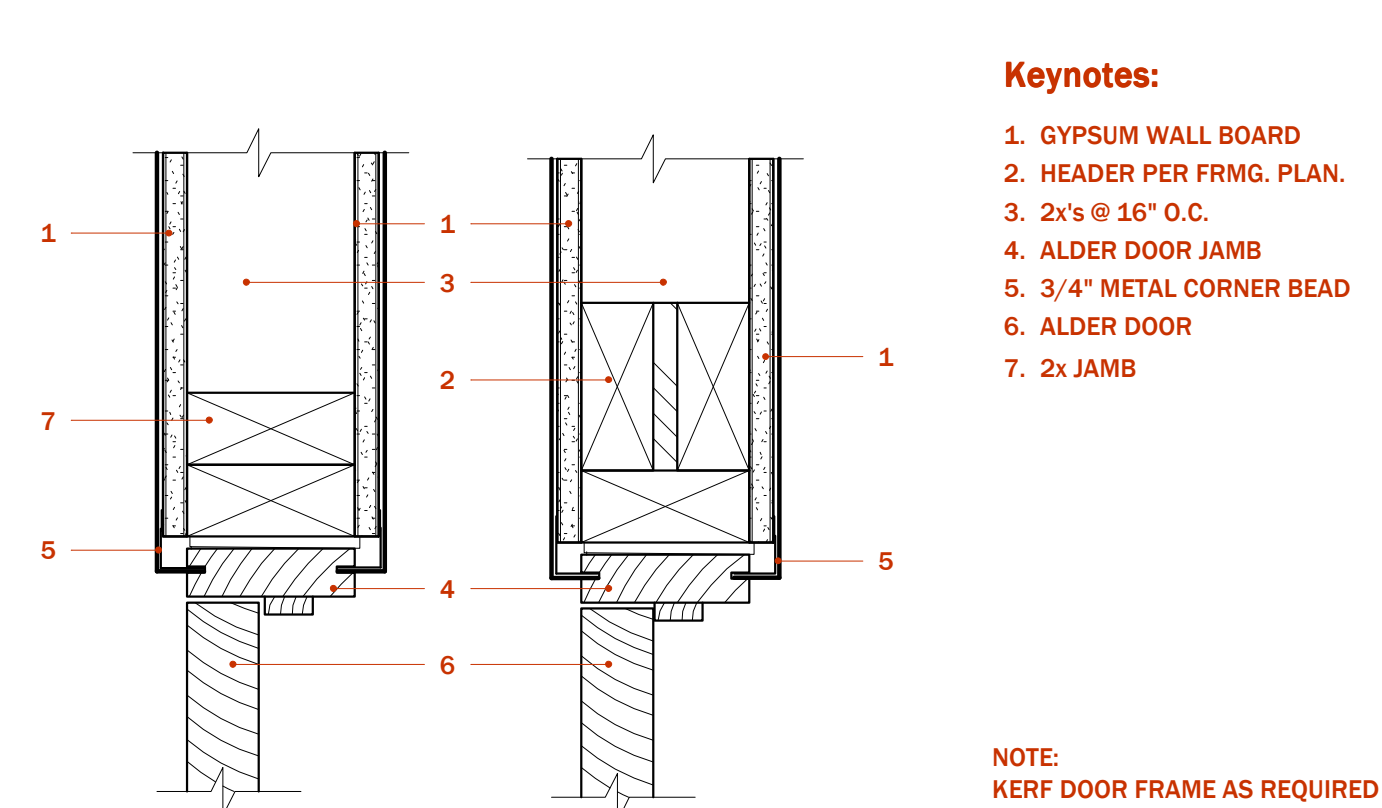
Insulation

Walls: Basement 8" Concrete + 2x4. (R =.5 + Batt R-15
Furring)+ R10 Continuous = 36
Ceilings (R=38)
Plumbing And Entertainment Walls To Be Insulated For Sound
Garage Insulation Is Included In This Contract

ENGINEER	ARCHITECT
NELSON RESIDENCE	Notes
	A0.1

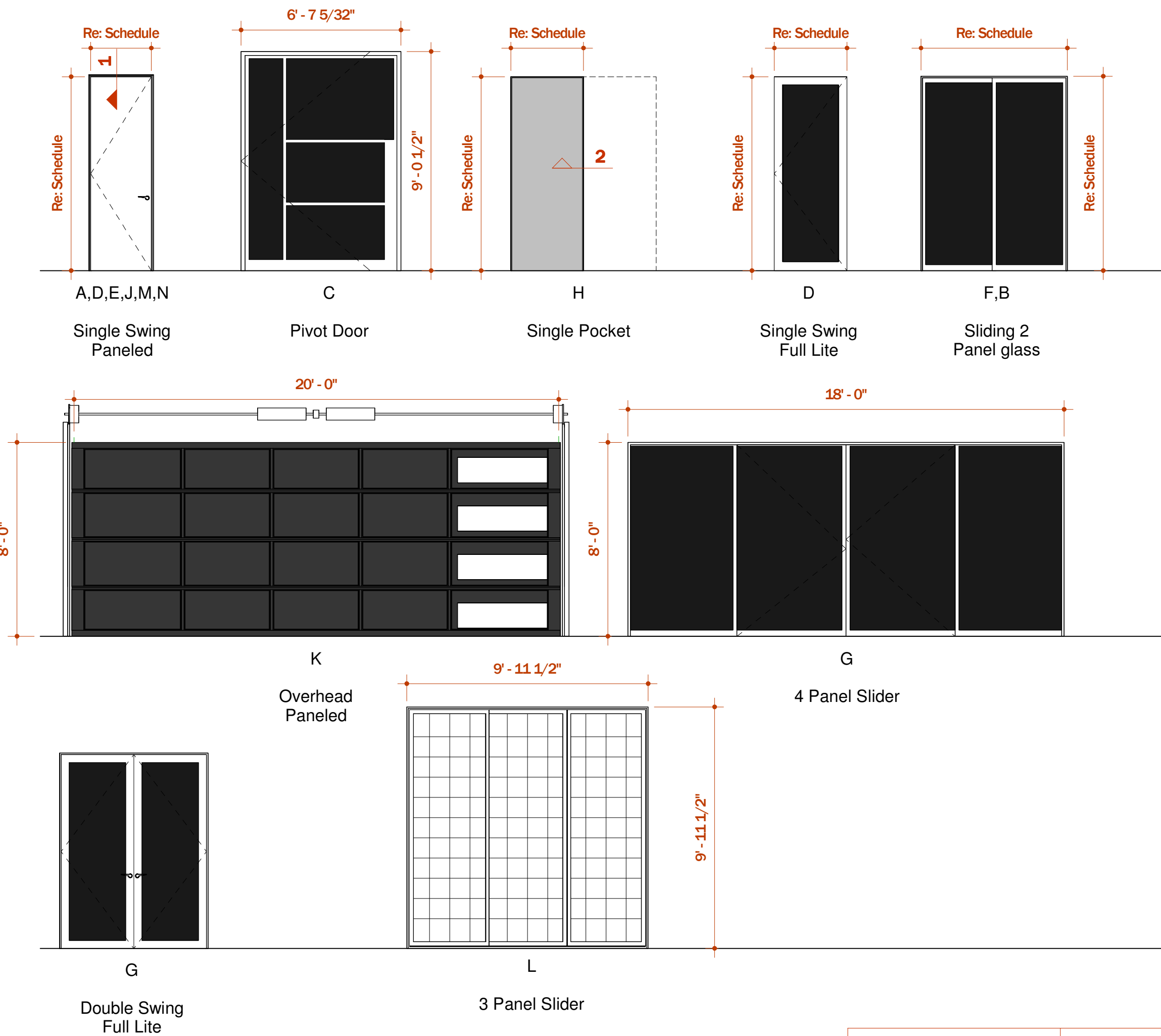


③ Typical Interior Pocket Door Jamb
3" = 1'-0"

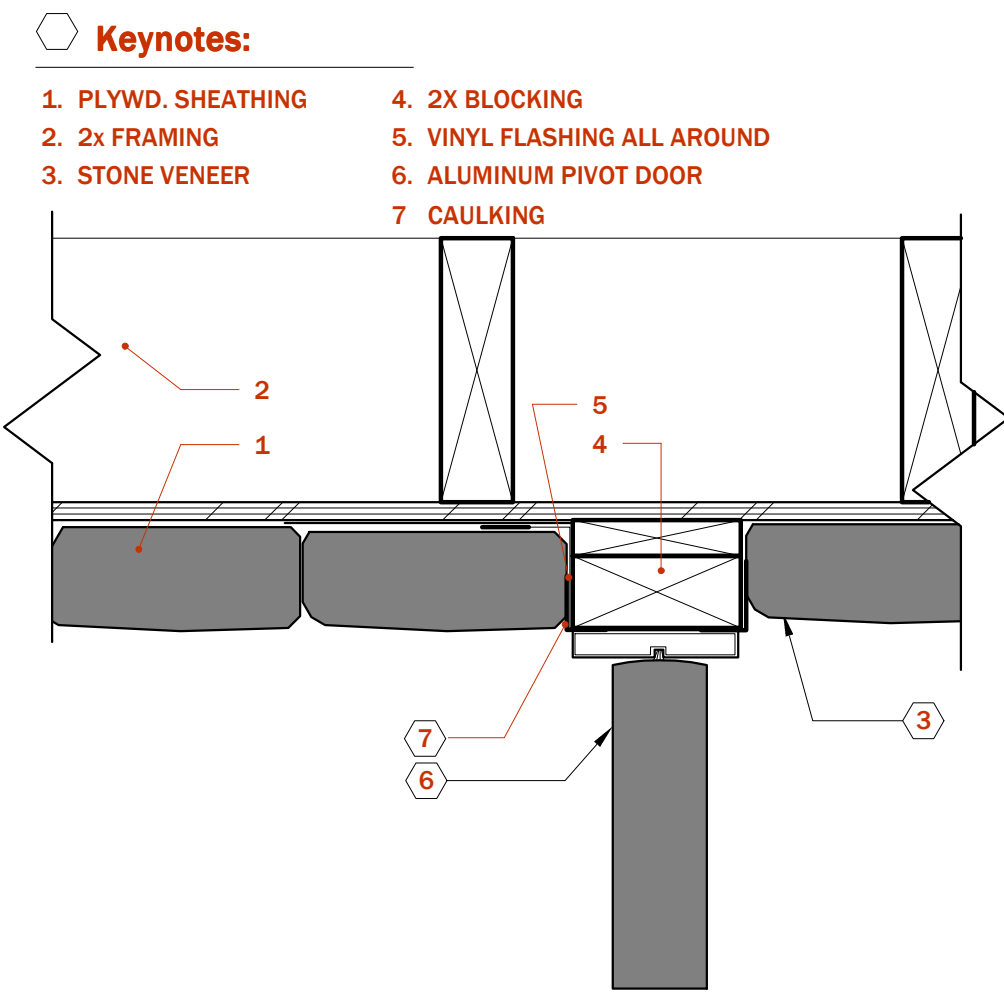


① Typical Interior Door Head And Jamb
3" = 1'-0"

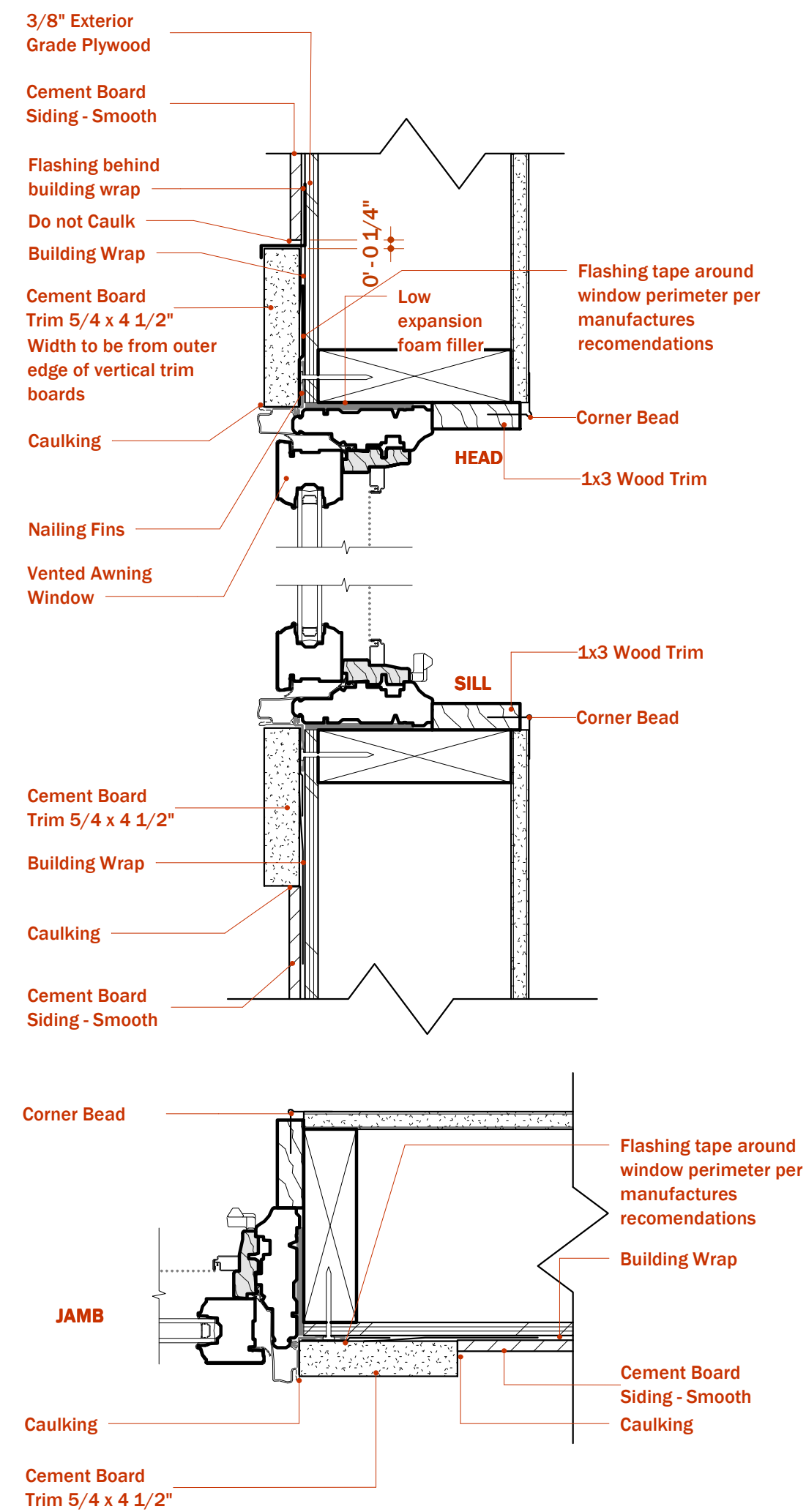
Door							
Door Number	Type Mark	Description	Width	Height	To Room Name	From Room Name	Comments
2	77		2'-6"	8'-0"			
6	44		3'-0"	8'-0"			
7	18		3'-0"	8'-0"			
9	17		2'-6"	8'-0"			
11	21		2'-10"	8'-0"			
12	80		3'-4"	8'-0"			
18	17		2'-6"	8'-0"			
23	86	2-1/8" Thick Aluminum Sectional Door	9'-0"	8'-0"			
24	87	2-1/8" Thick Aluminum Sectional Door	18'-0"	8'-0"			
25	79		2'-8"	8'-0"			
29	17		2'-6"	8'-0"			
31	17		2'-6"	8'-0"			
32	17		2'-6"	8'-0"			
33	17		2'-6"	8'-0"			
35	17		2'-6"	8'-0"			
36	C	Custom Pivot Door	5'-4"	9'-0 1/2"			
40	80		3'-4"	8'-0"			
41	79		2'-8"	8'-0"			
45	17		2'-6"	8'-0"			
119	Q		2'-4"	8'-0"			
120	R		3'-0"	8'-0"			
123	18		3'-0"	8'-0"			
124	R		3'-0"	8'-0"			
125	S		8'-0"	8'-0"			
126	S		8'-0"	8'-0"			
127	S		8'-0"	8'-0"			
128	DD		4'-0"	7'-0"			
129	DD		4'-0"	7'-0"			
130	JJ		5'-0"	6'-8"			
Grand total: 29							



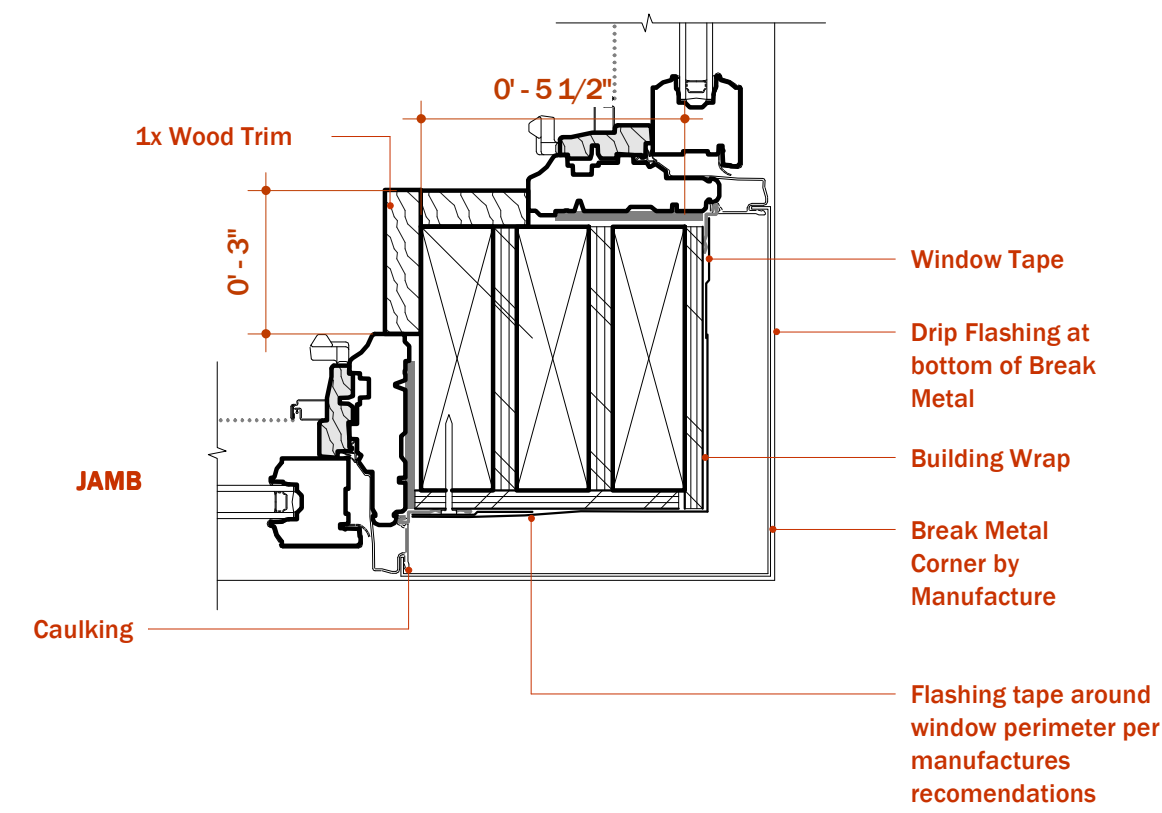
SCHEDULES & NOTES



① Window Jamb Stone both Sides
3" = 1'-0"



② Wood Clad @ Siding W/ Curfed Jamb
3" = 1'-0"



④ Wood Clad Corner Window
3" = 1'-0"

Window Schedule									
Type Mark	Type	Rough Opening		Manufacturer	Model	Material	Count	Area	Cost/S F
		Width	Height						
01	30.5"x24"	3'-5"	3'-0 1/2"	Pella	LifeStyle		1	10 SF	45
02	34.5"x68"	5'-3"	2'-10 1/2"	Pella	LifeStyle		1	15 SF	45
03	63"x24"	5'-3"	2'-0"	Pella	LifeStyle		1	11 SF	45
04	60"x72"	5'-0"	6'-0"				2	60 SF	45
05	51"x72"	4'-3"	6'-0"				6	153 SF	45
06	56"x96"	4'-8"	8'-0"				1	37 SF	45
07	51"x24"	4'-3"	2'-0"				6	51 SF	45
08	42"x102"	3'-6"	8'-6"				1	30 SF	45
09	51"x20"	4'-3"	1'-8"				6	43 SF	45
10	70"x102"	5'-10"	8'-6"				1	50 SF	45
11	19"x21"	1'-7"	1'-9"	Pella	LifeStyle		1	3 SF	45
12	36"x102"	3'-0"	8'-6"				1	26 SF	45
13	<varies>	<varies>	<varies>	<varies>	<varies>		3	76 SF	45
14	36"x18" Awning	3'-0"	1'-6"				1	5 SF	45
15	56"x24"	4'-8"	2'-0"				2	19 SF	45
16	20"x69"	1'-8"	5'-9"				1	10 SF	45
17	19"x72"	1'-7"	6'-0"				1	10 SF	45
18	19"x20"	1'-7"	1'-8"				1	3 SF	45
19	20"x24"	1'-8"	2'-0"				1	3 SF	45
20	56"x48"	4'-8"	4'-0"				2	37 SF	45
21	38"x24"	3'-2"	2'-0"				1	6 SF	45
22	49.5"x72"	4'-1 1/2"	6'-0"				2	50 SF	45
23	48"x20"	4'-0"	1'-8"				4	27 SF	45
24	44"x24"	3'-8"	2'-0"	Pella	LifeStyle		1	7 SF	45
25	48"x44"	4'-0"	3'-8"				3	44 SF	45
26	49.5"x24"	4'-1 1/2"	2'-0"				4	33 SF	45
28	48"x72"	4'-0"	6'-0"				1	24 SF	45
29	44"x28"	3'-8"	2'-4"	Pella	LifeStyle		1	9 SF	45
30	48"x24"	4'-0"	2'-0"				1	8 SF	45
31	19"x24"	1'-7"	2'-0"				1	3 SF	45
32	48"x60"	4'-0"	5'-0"				2	40 SF	45
33	44"x32"	3'-8"	2'-8"	Pella	LifeStyle		1	10 SF	45
34	24"x60"	2'-0"	5'-0"				1	10 SF	45
35	38"x20"	3'-2"	1'-8"				1	5 SF	45
36	24"x20"	2'-0"	1'-8"				1	3 SF	45
37	48"x93"	4'-0"	7'-9"				1	31 SF	45
38	52"x43"	4'-4"	3'-7"				5	78 SF	45
39	49.5"x20"	4'-1 1/2"	1'-8"				2	14 SF	45
40	68"x43"	5'-8"	3'-7"				1	20 SF	45
41	44"x36"	3'-8"	3'-0"	Pella	LifeStyle		1	11 SF	45
								1082 SF	

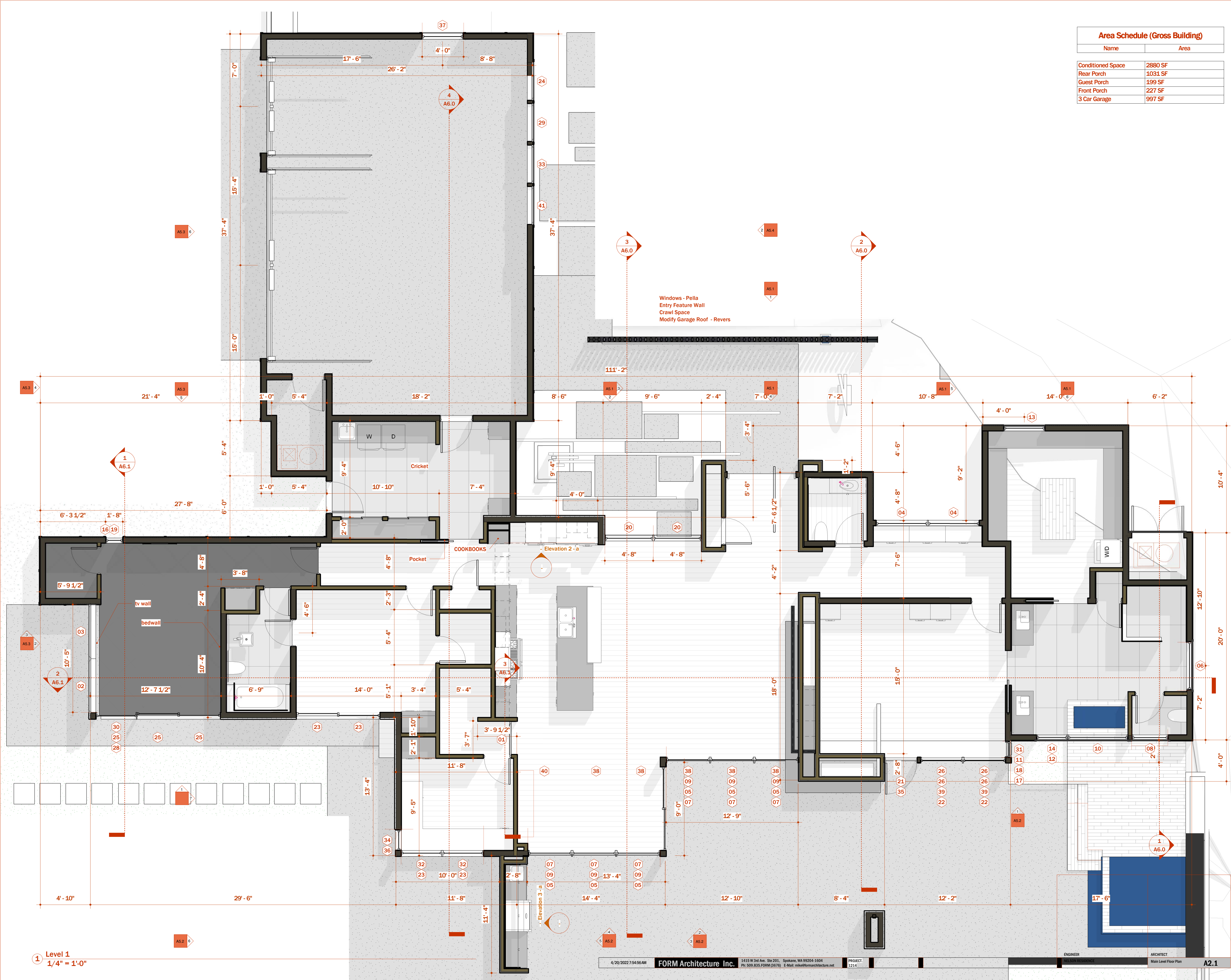
Window Notes:
Pella Lifestyle Series with Advances Comfort Low-E, 5mm Argon Filled: U Value=.23, SHGC = .31

- Window color: Black.
- Egress windows per plans and elevations 'E'.
- Tempered windows per elevations 'T'.

ENGINEER	ARCHITECT
NELSON RESIDENCE	Window Schedule
	A0.3

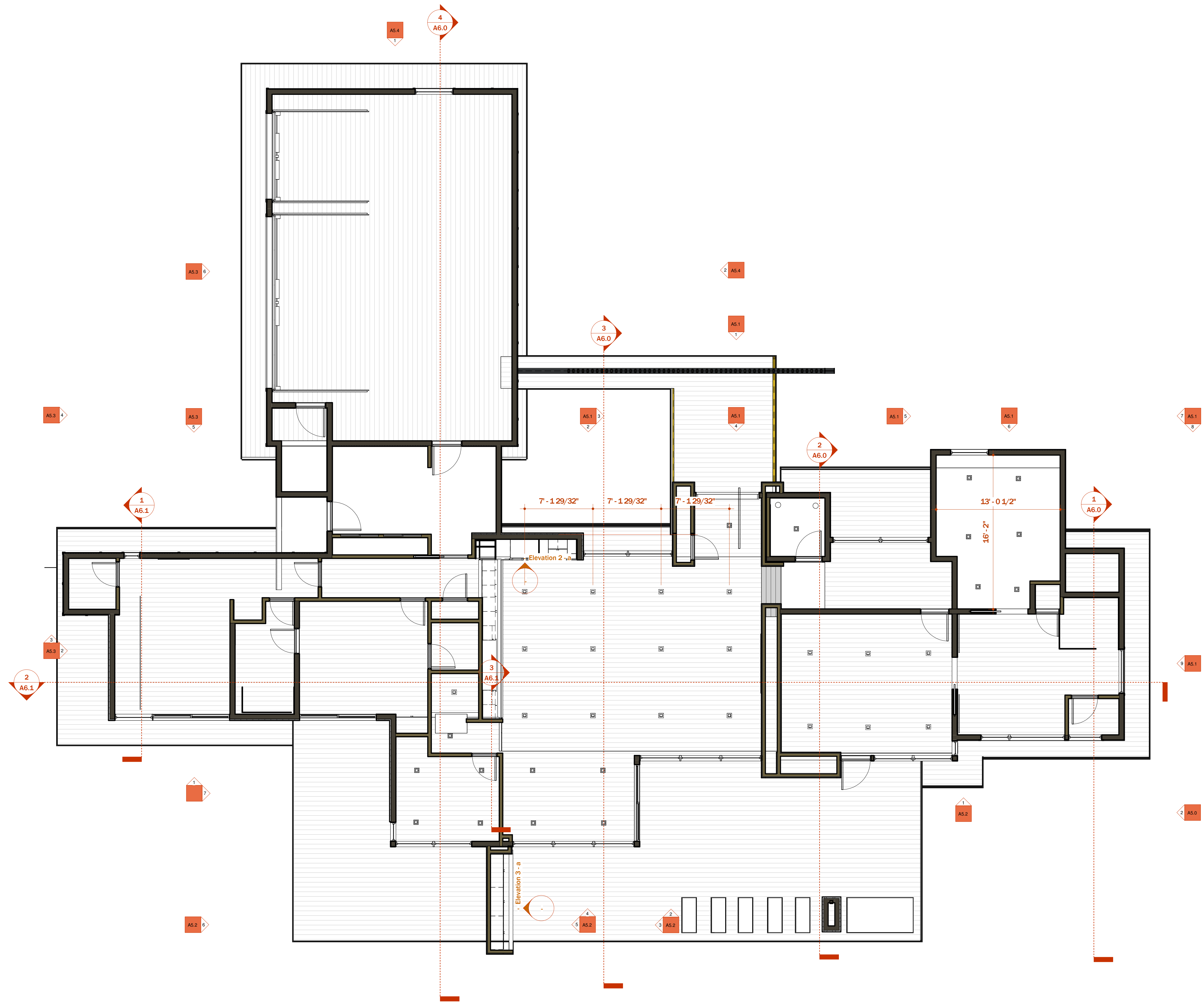
SCHEDULES & NOTES

Area Schedule (Gross Building)	
Name	Area
Conditioned Space	2880 SF
Rear Porch	1031 SF
Guest Porch	199 SF
Front Porch	227 SF
3 Car Garage	997 SF



1 Level 1
1/4" = 1'-0"

FLOOR PLANS

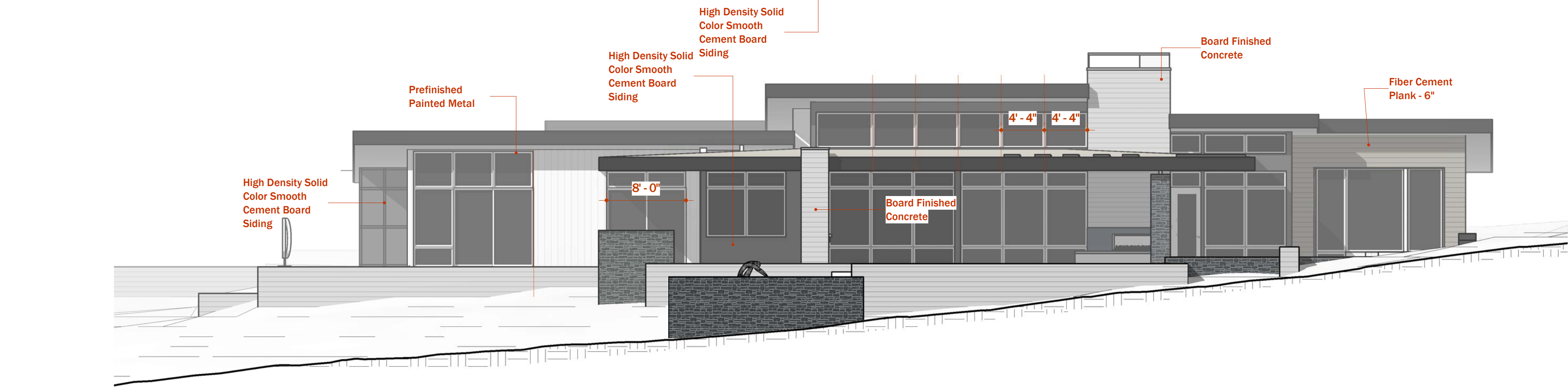
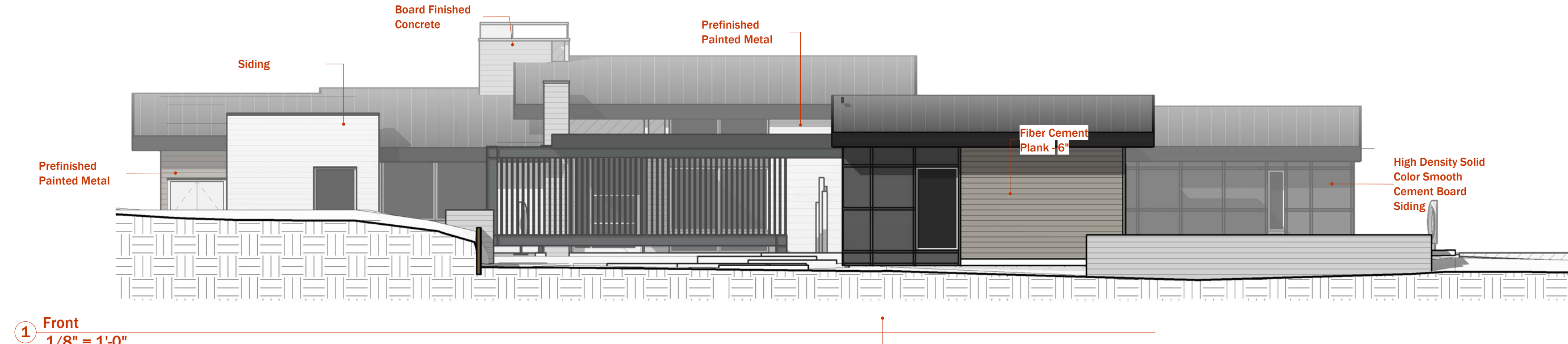


1 Level 1
 3/16" = 1'-0"

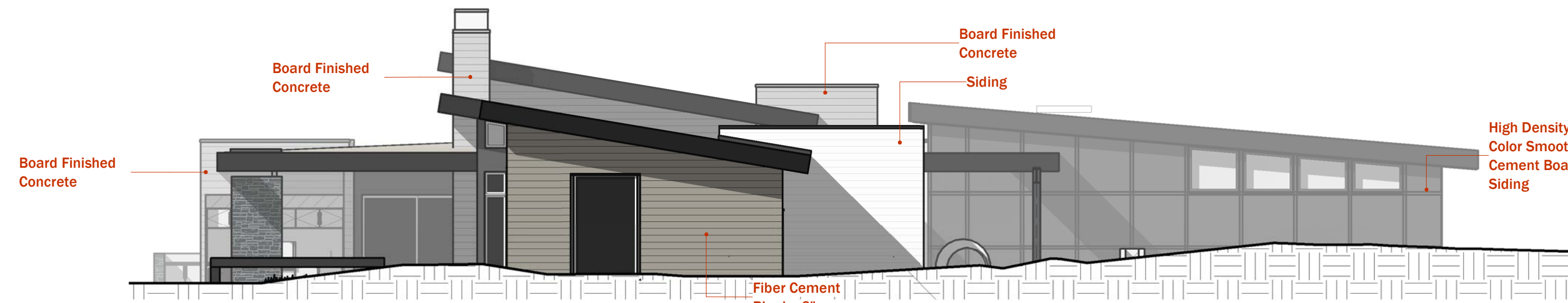
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Exterior Wall Material

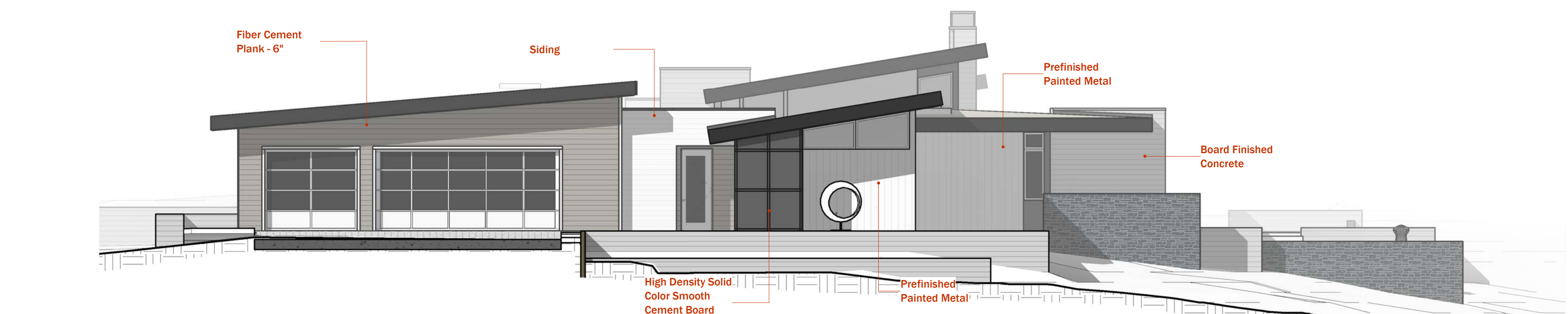
Material: Keynote	Material: Name	Material: Description	Material: Manufacturer	Material: Model	Material: Area	Image
Finishes - Exterior - Smooth Siding						
3.81	Finishes - Exterior - Smooth Siding	Smooth Cement Board	Hardie or Equal	Hardie Textured Panels - SMOOTH SAND - Iron Gray	1233 SF	
Finishes - Exterior - Smooth Siding: 41					1233 SF	
Finishes - Exterior - Siding - Wood						
07.46.00.B3	Finishes - Exterior - Siding - Wood				2078 SF	
Finishes - Exterior - Siding - Wood: 23					2078 SF	
Metal Siding - Rusted						
05.43.00.A2	Metal Siding - Rusted				528 SF	
Metal Siding - Rusted: 7					528 SF	
Grand total: 71					3838 SF	



3 Rear
1/8" = 1'-0"

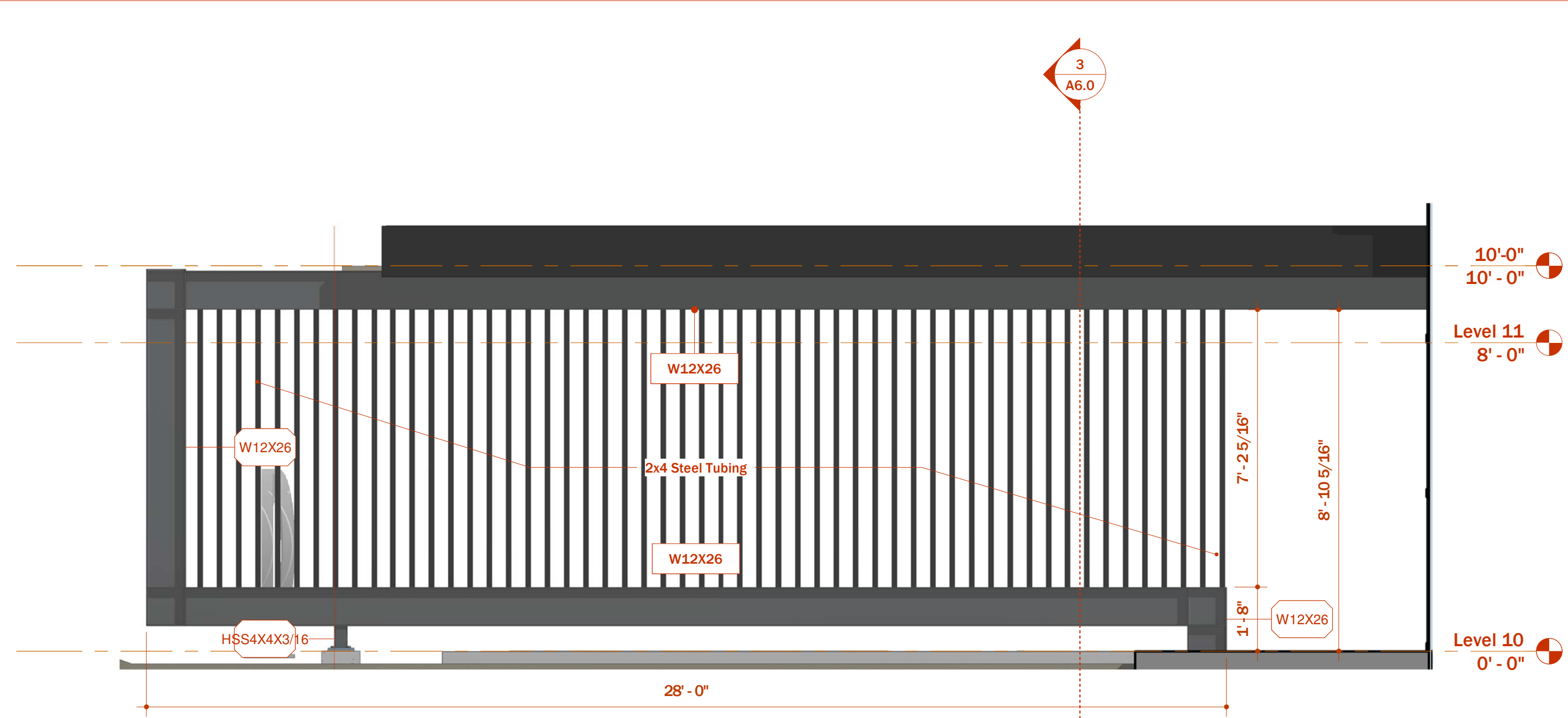
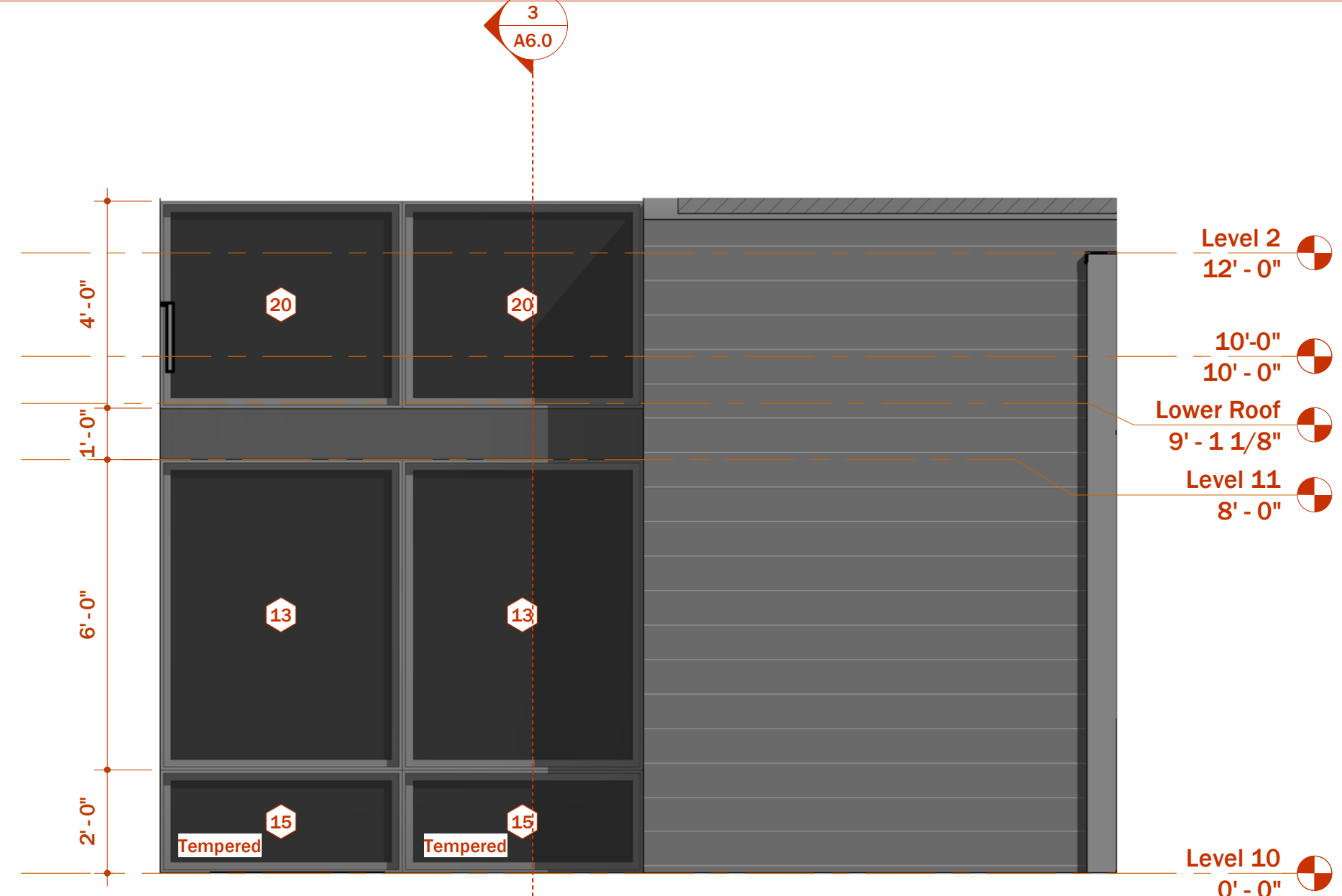


2 Left
1/8" = 1'-0"



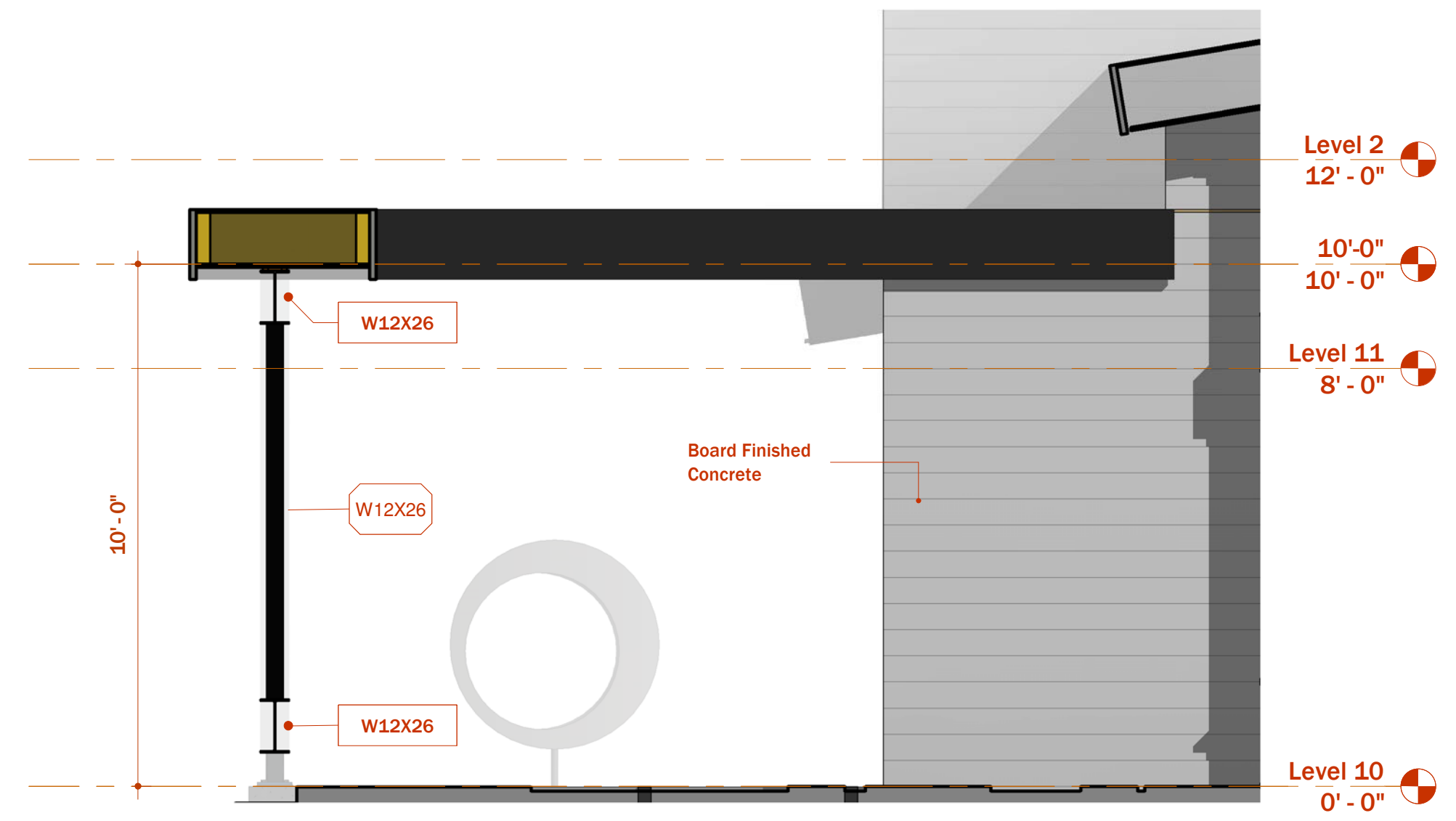
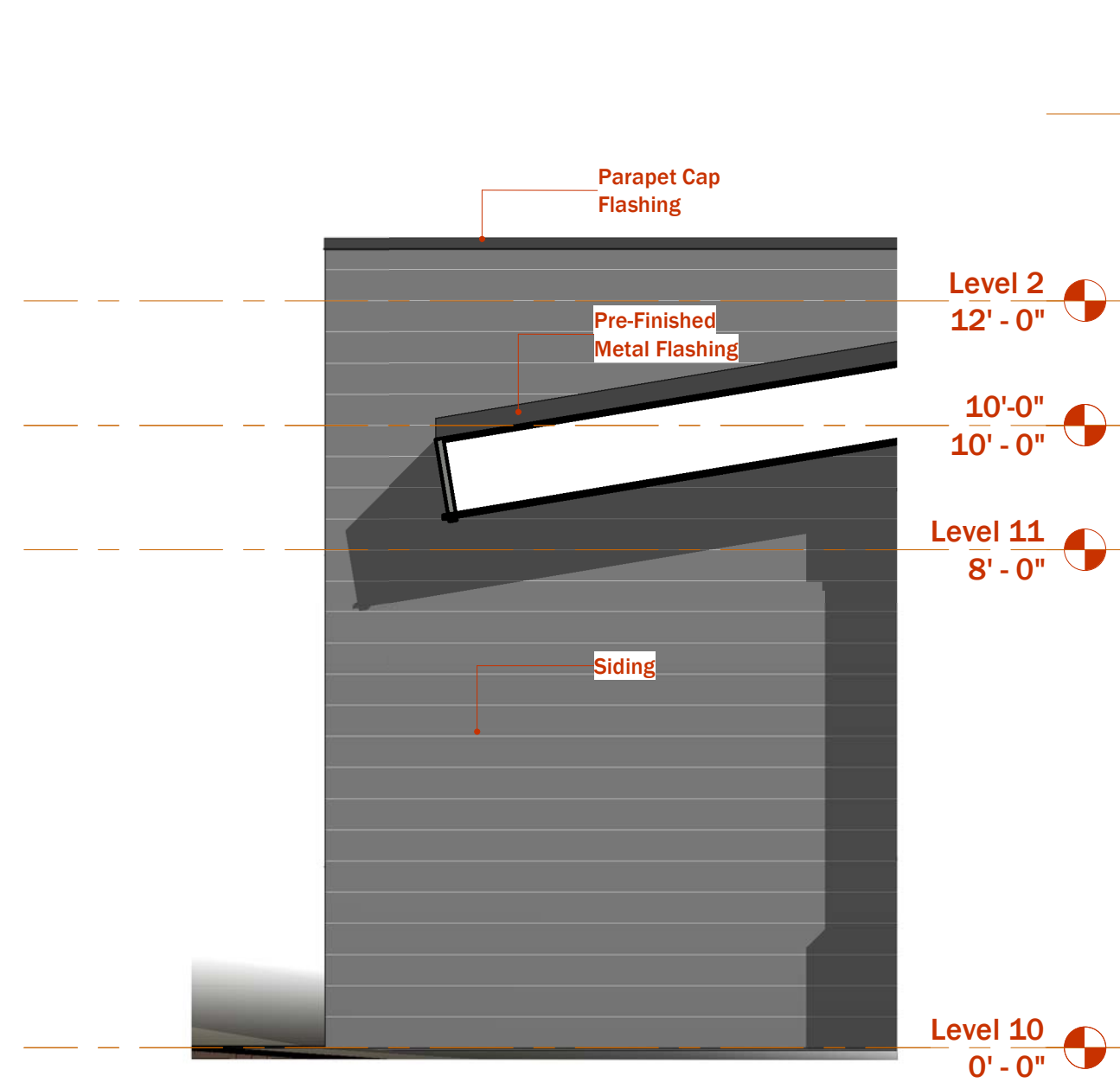
4 Right
1/8" = 1'-0"

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2 Entrance Window
3/8" = 1'-0"

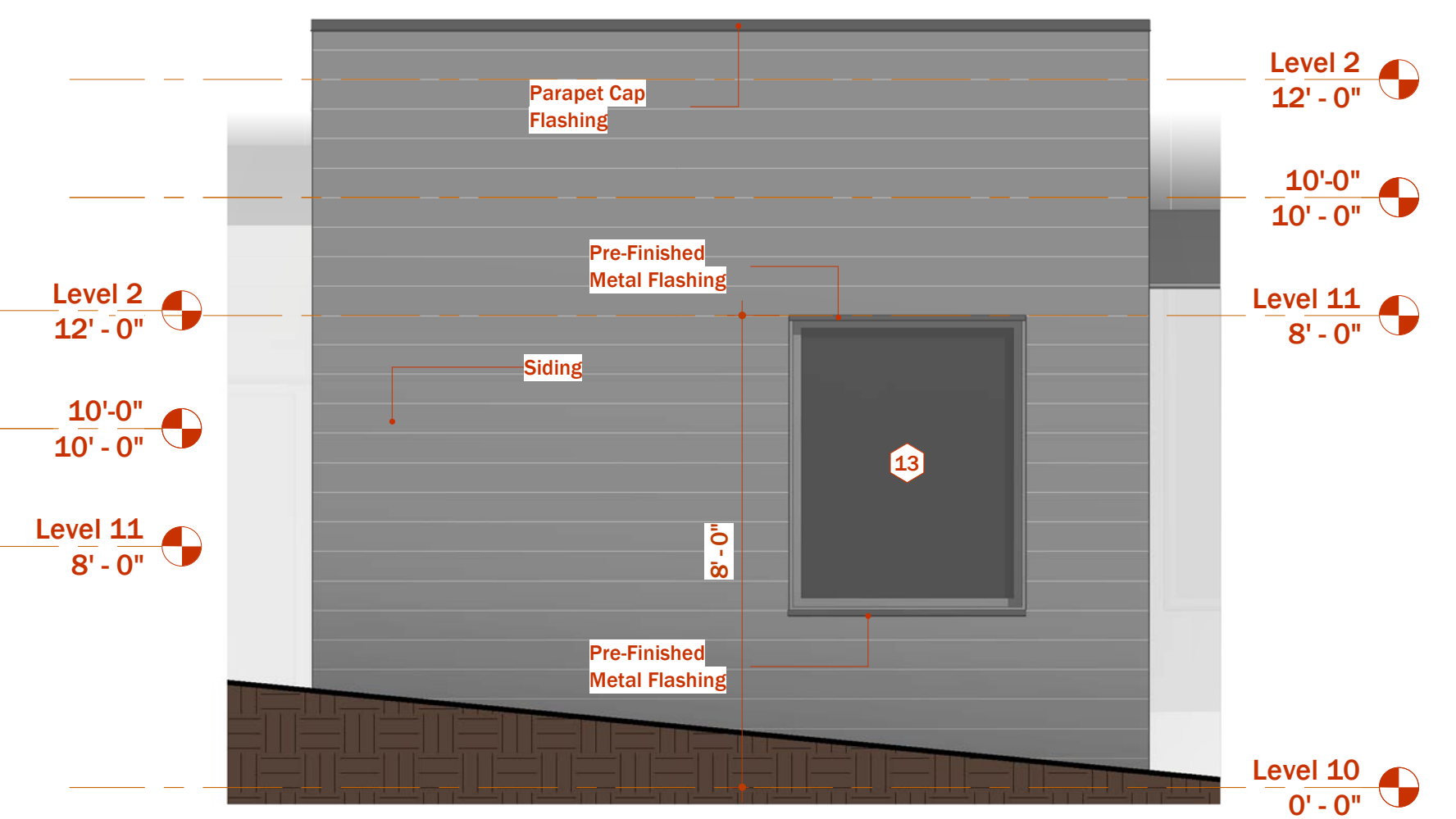
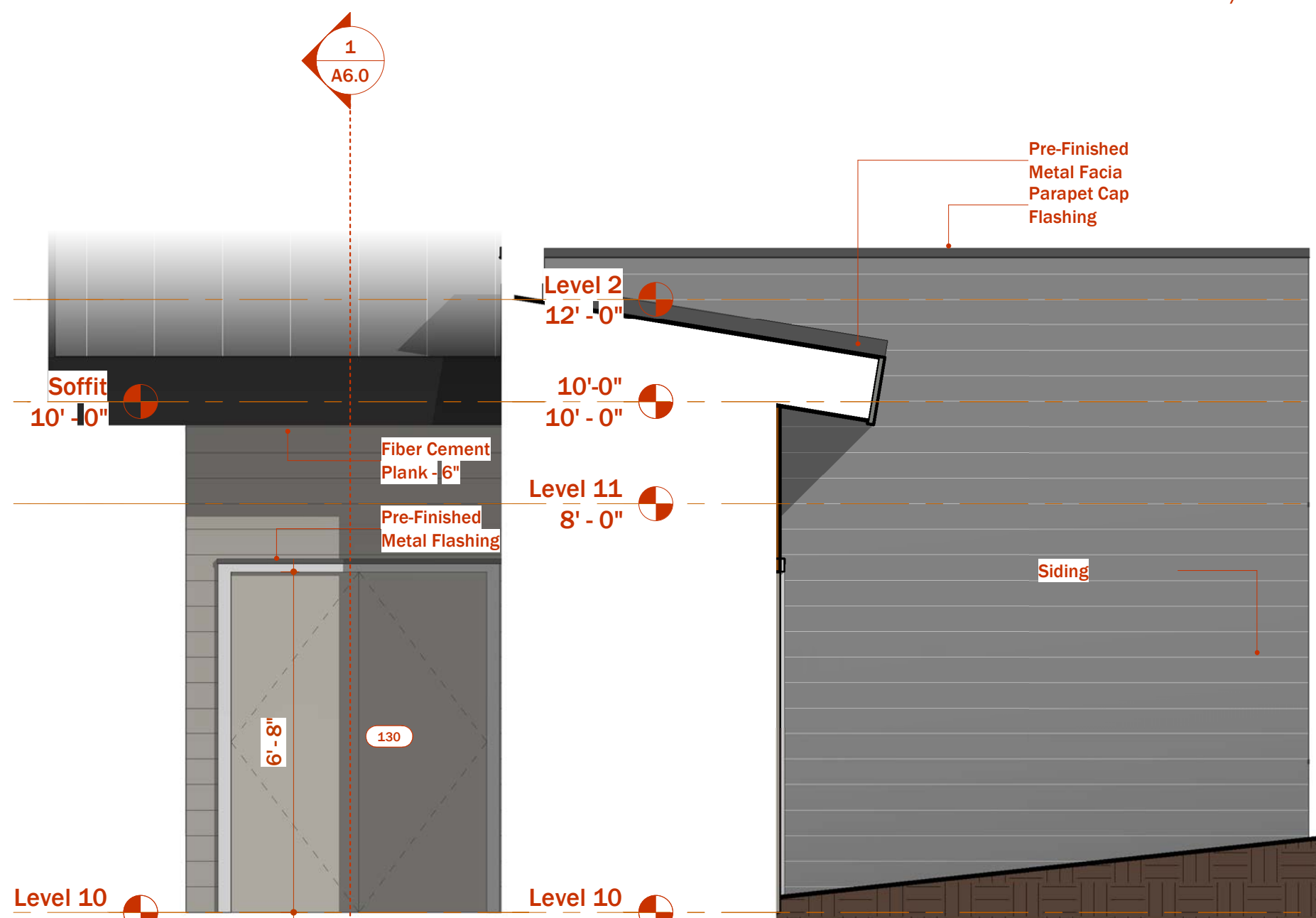
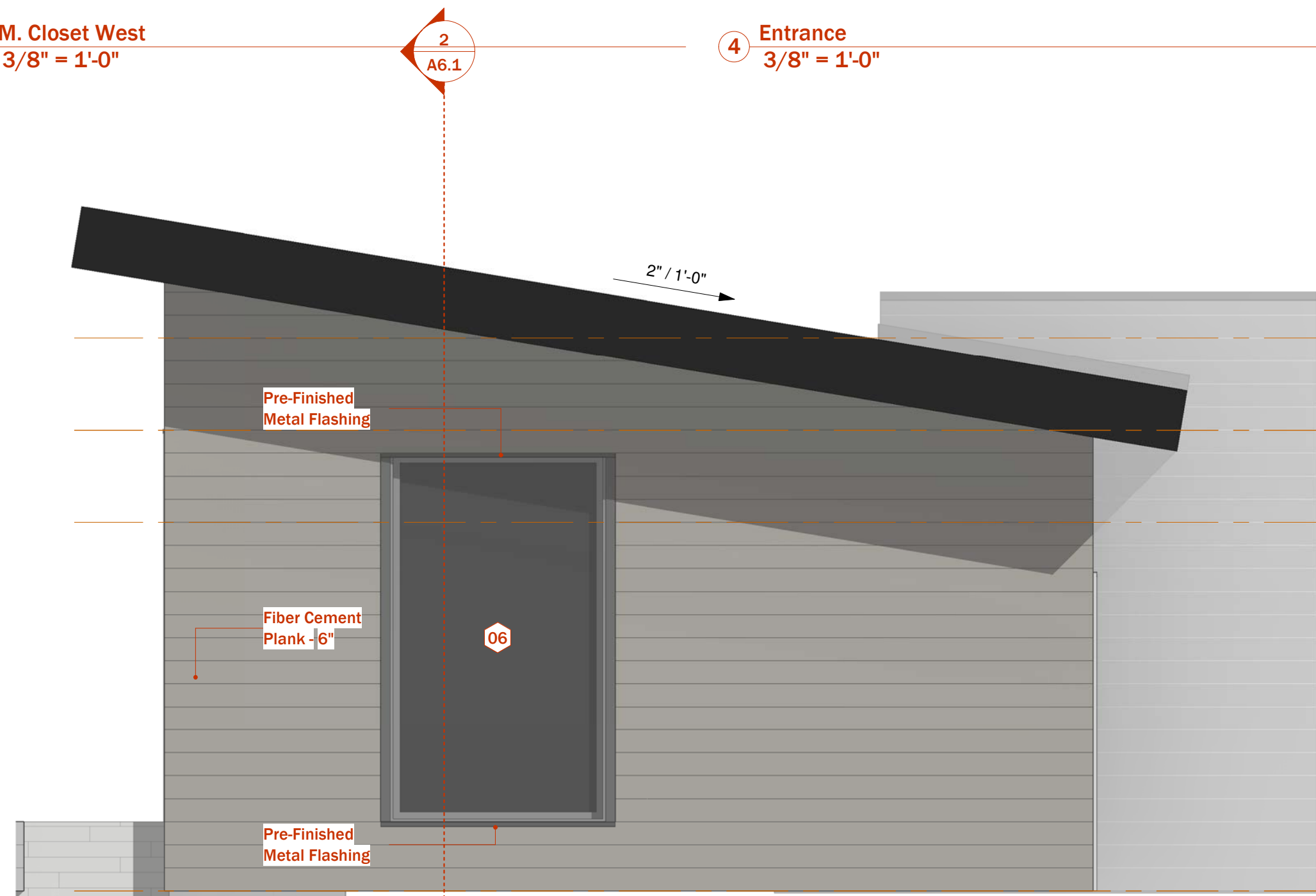
1 Entrance Screen
3/8" = 1'-0"



5 M. Closet West
3/8" = 1'-0"

4 Entrance
3/8" = 1'-0"

3 Entry Right
3/8" = 1'-0"



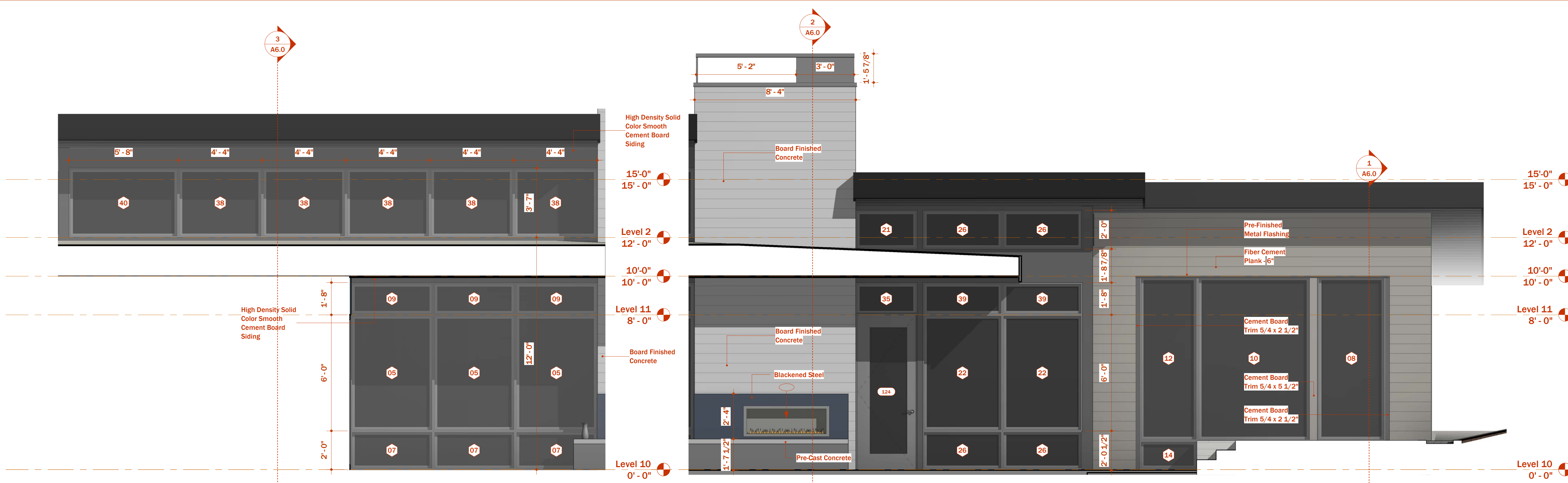
9 M. Suite East
3/8" = 1'-0"

8 Mech. Cl.
3/8" = 1'-0"

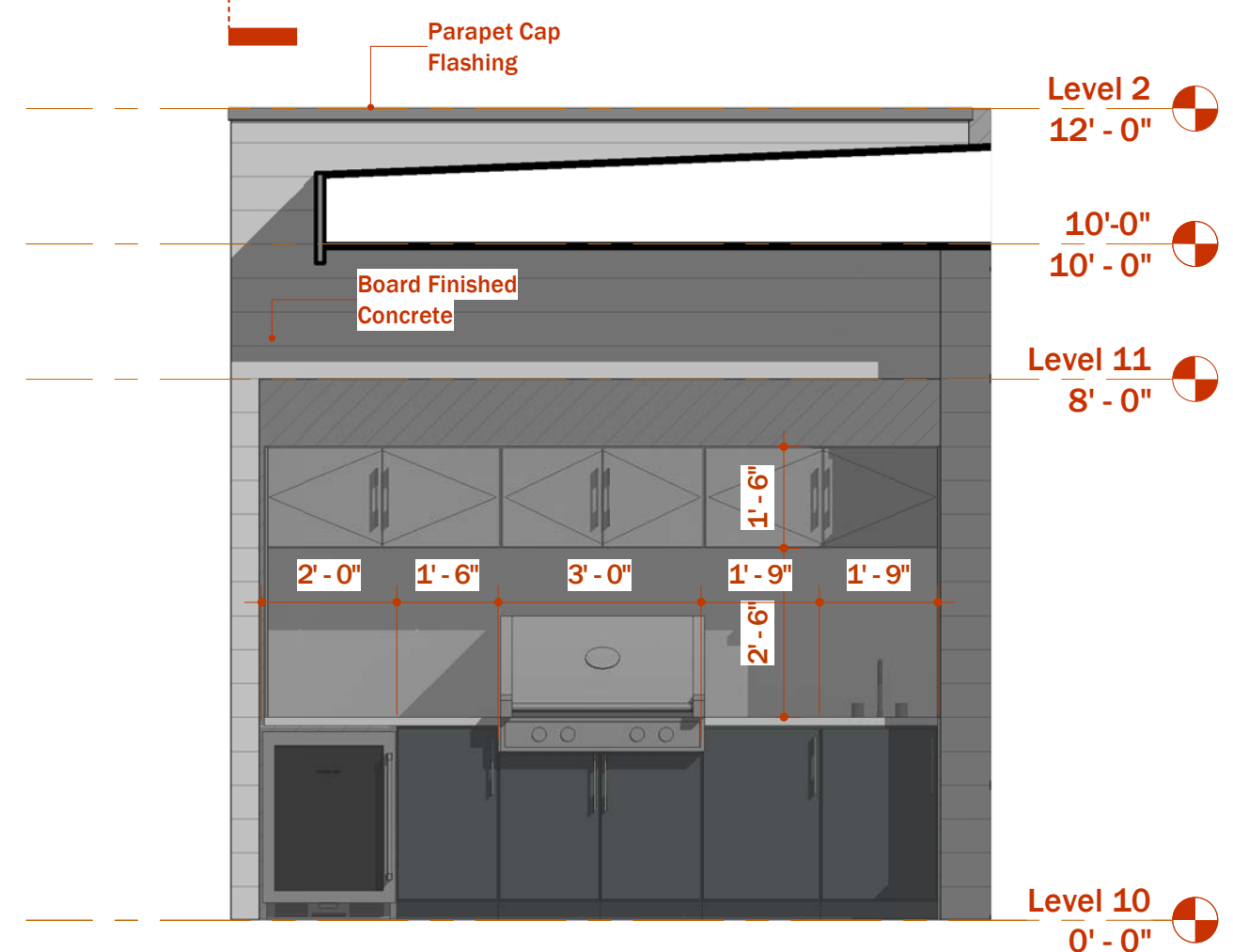
7 M. Closet East
3/8" = 1'-0"

6 M. Closet North
3/8" = 1'-0"

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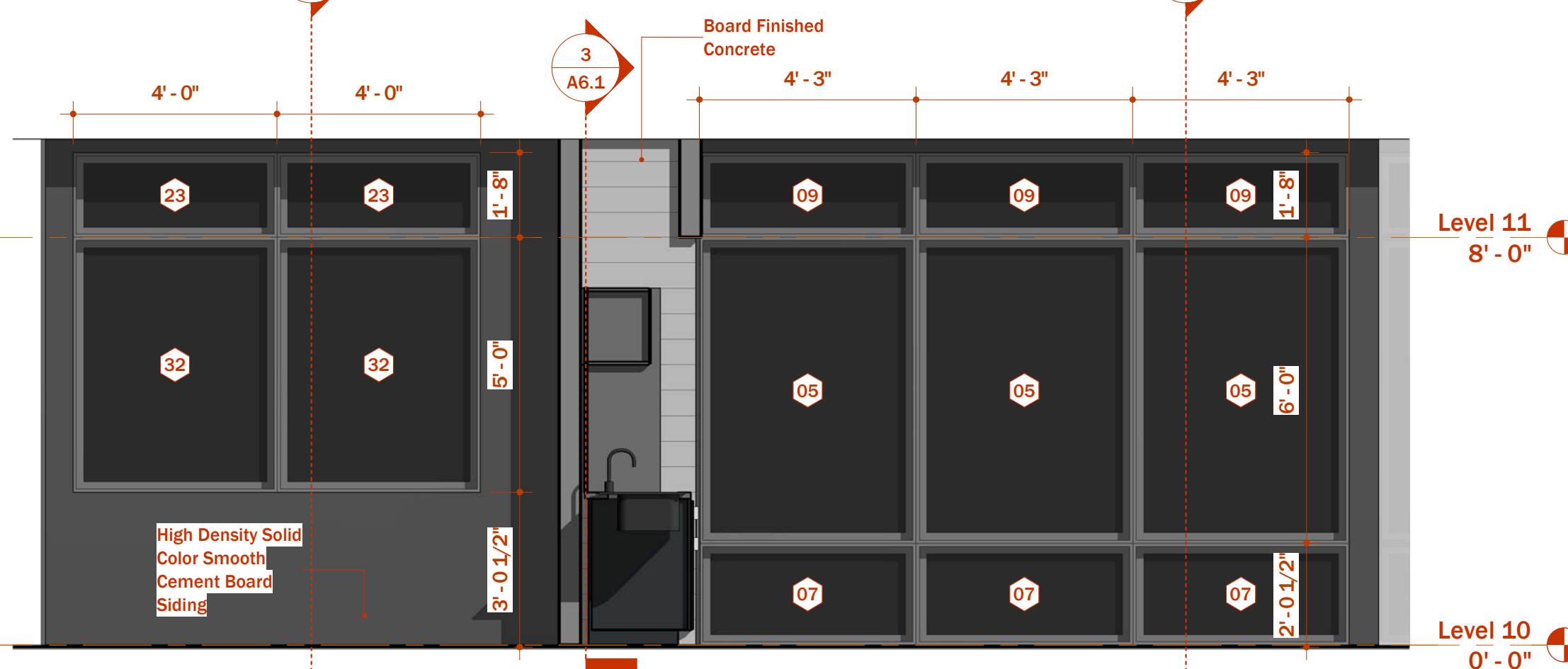


2 Living South
3/8" = 1'-0"

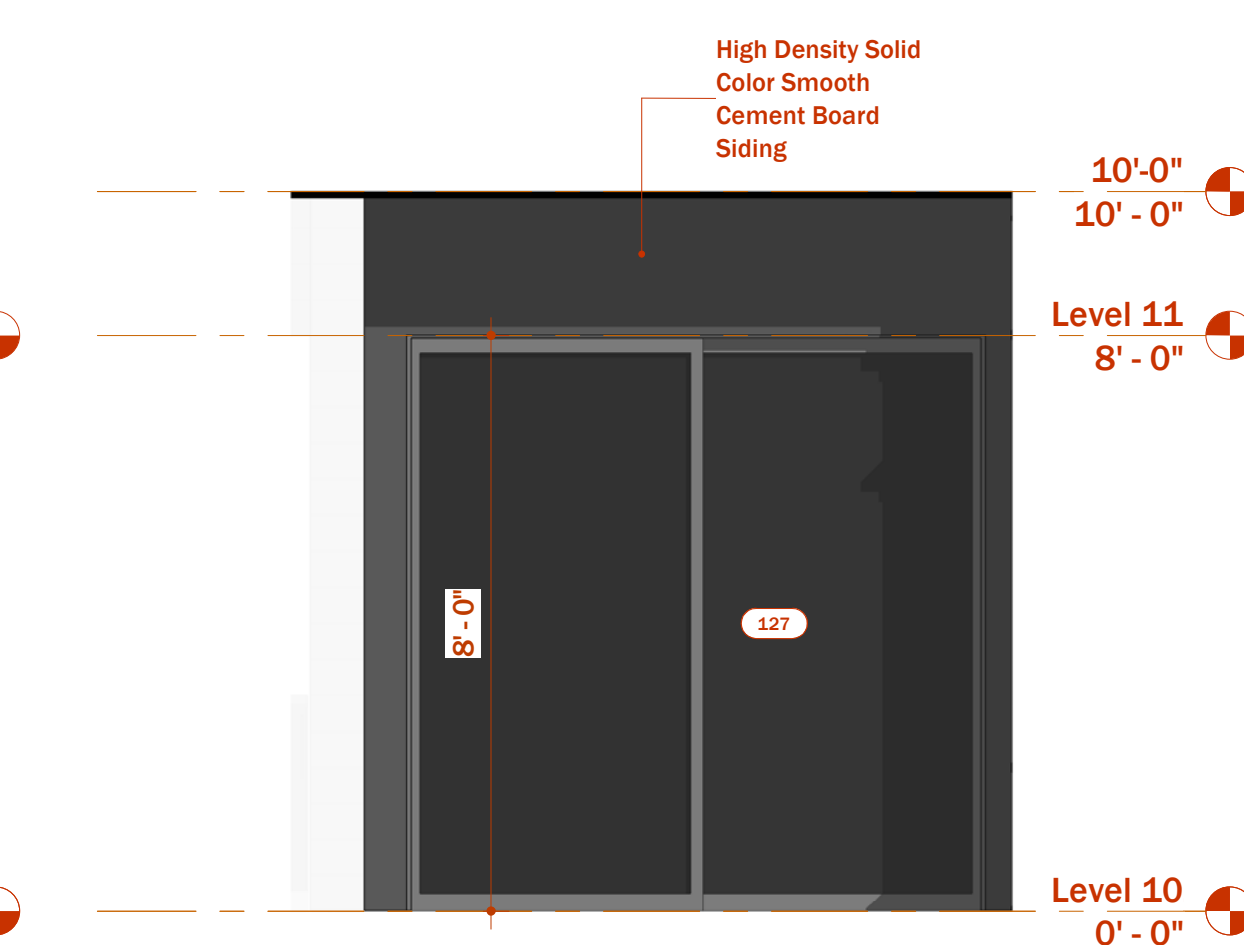


5 Outdoor Kitchen East
3/8" = 1'-0"

1 M. Suite South
3/8" = 1'-0"



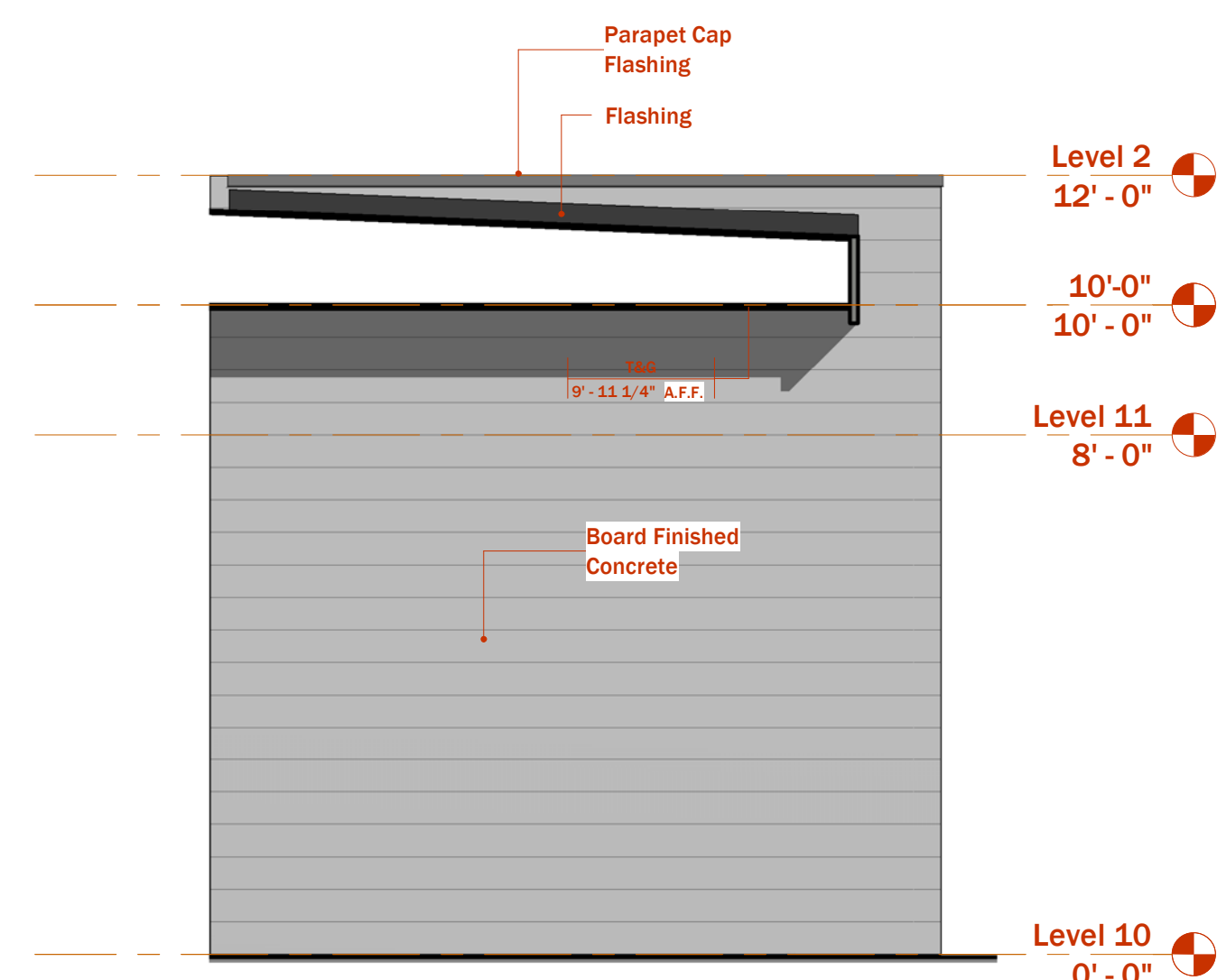
4 Dining South
3/8" = 1'-0"



3 Dining East
3/8" = 1'-0"

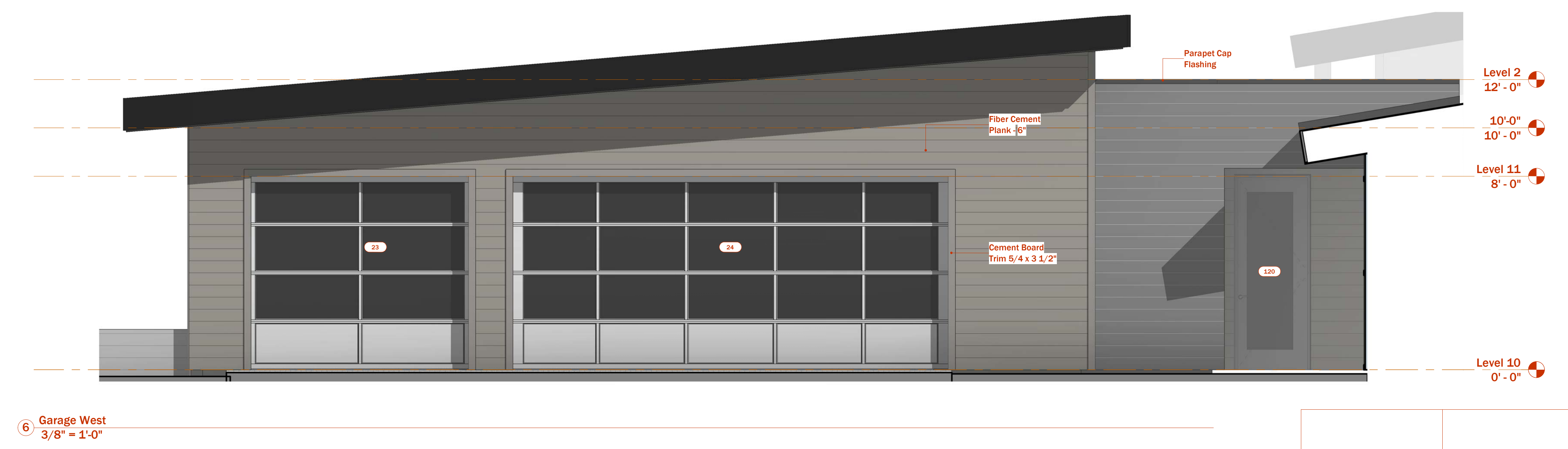
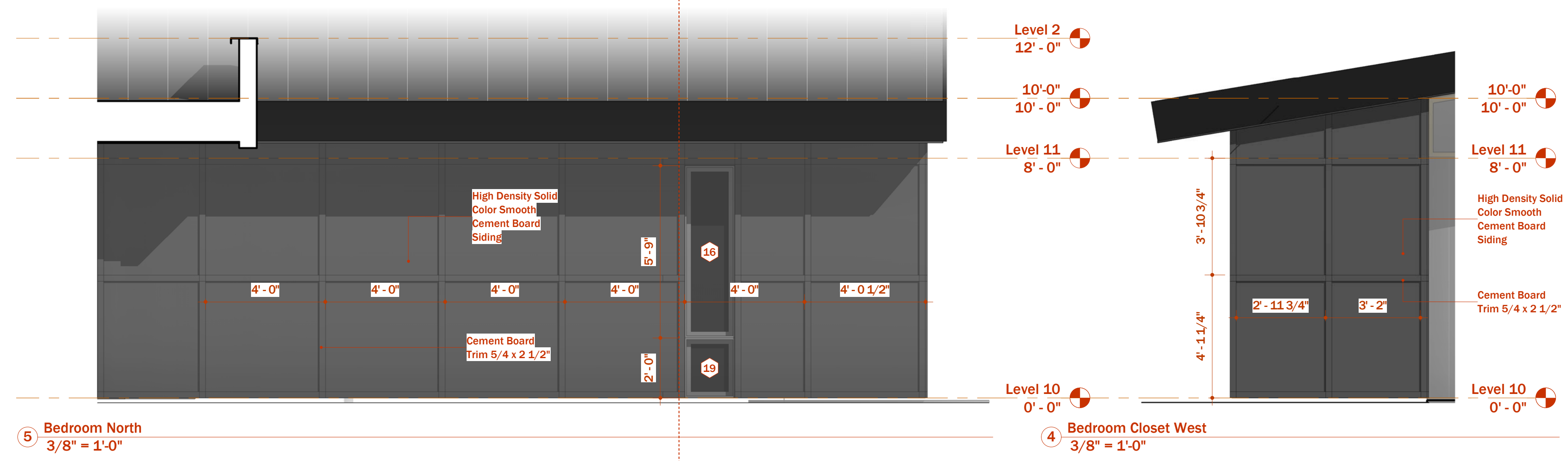
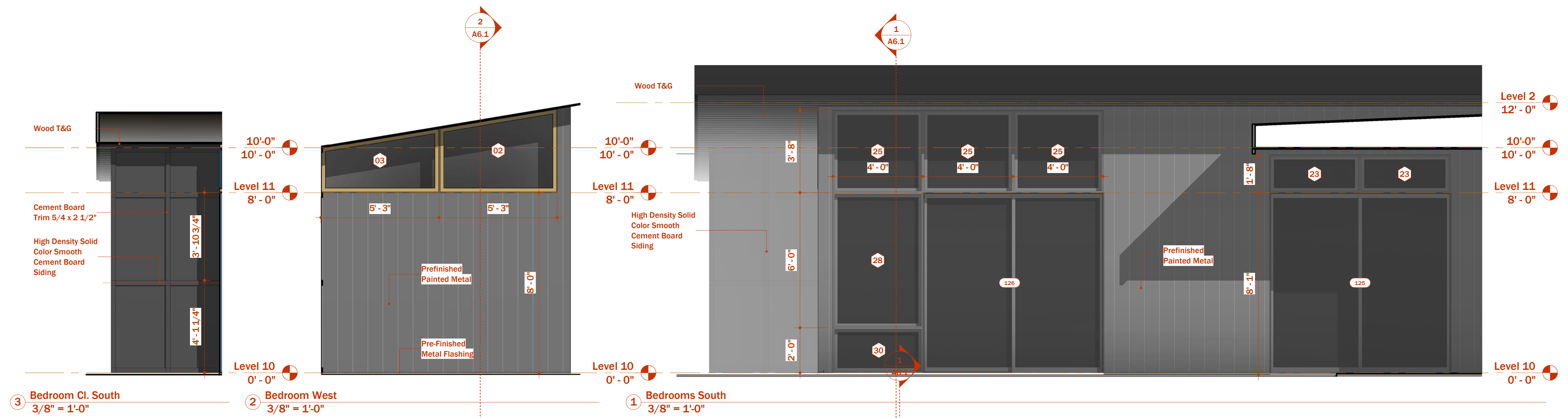


7 Office West
3/8" = 1'-0"

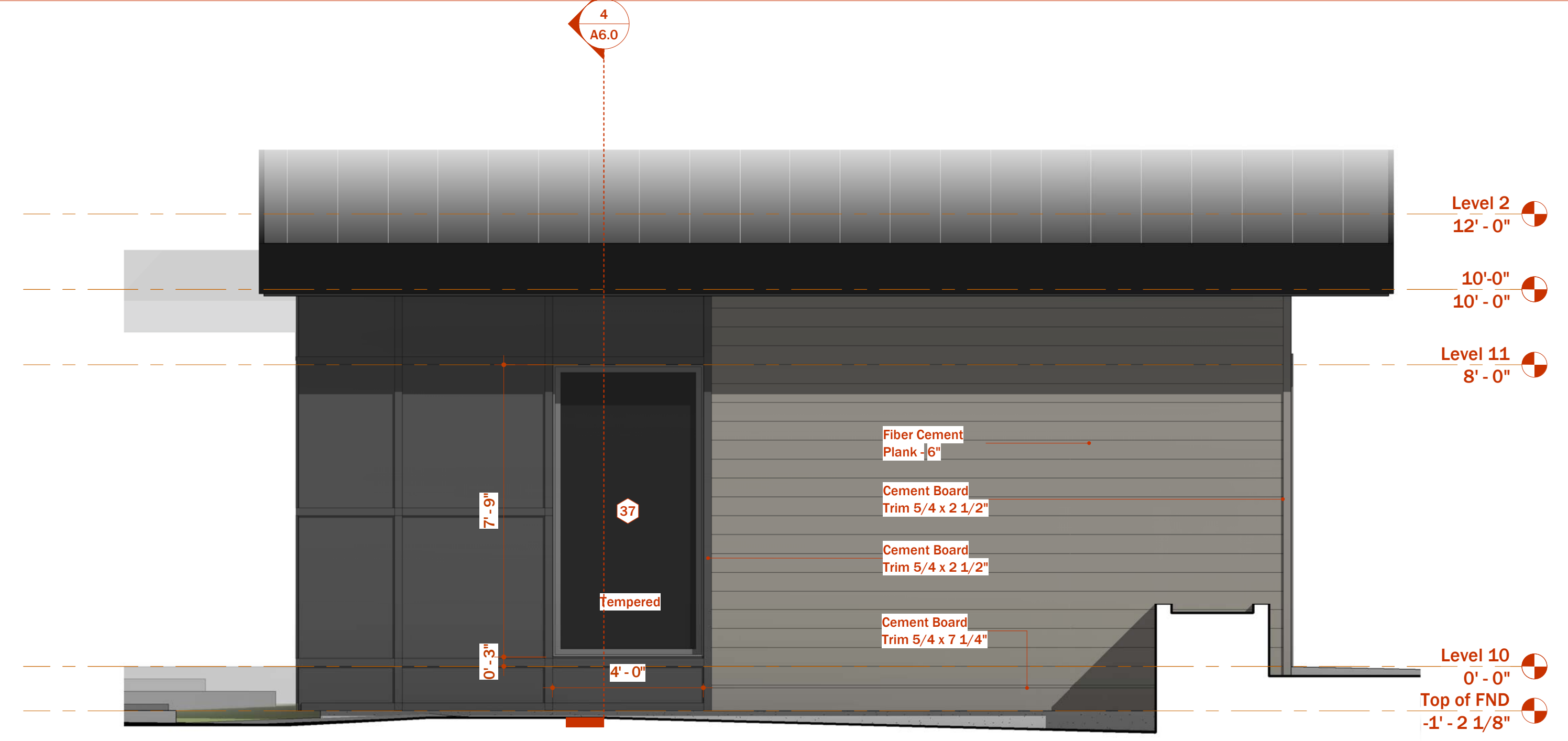


6 Outdoor Kitchen West
3/8" = 1'-0"

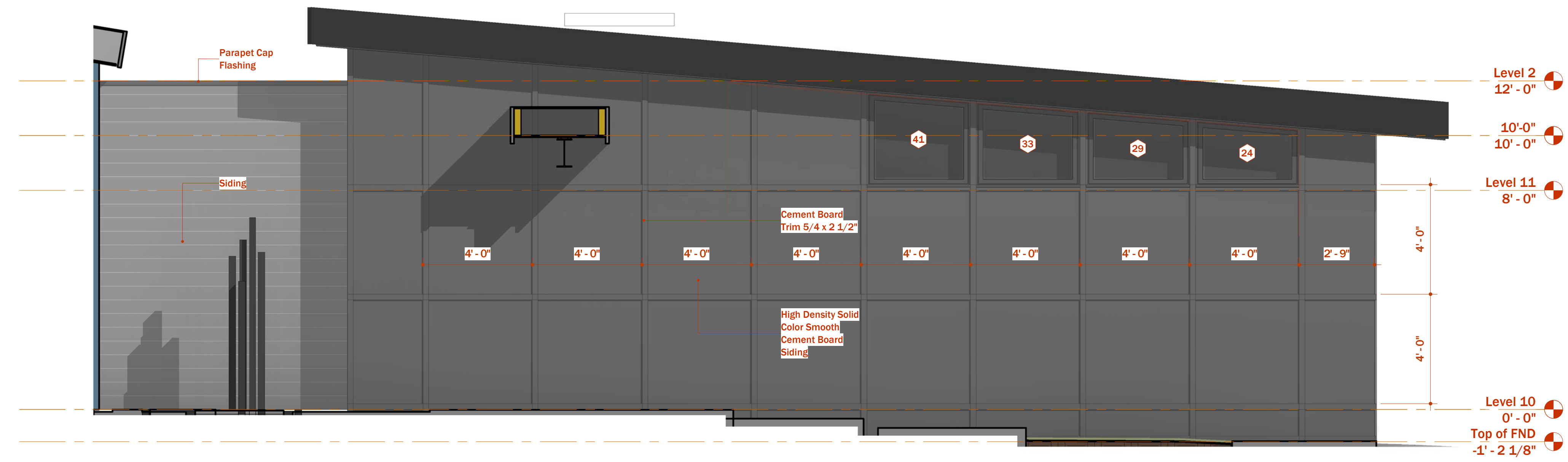
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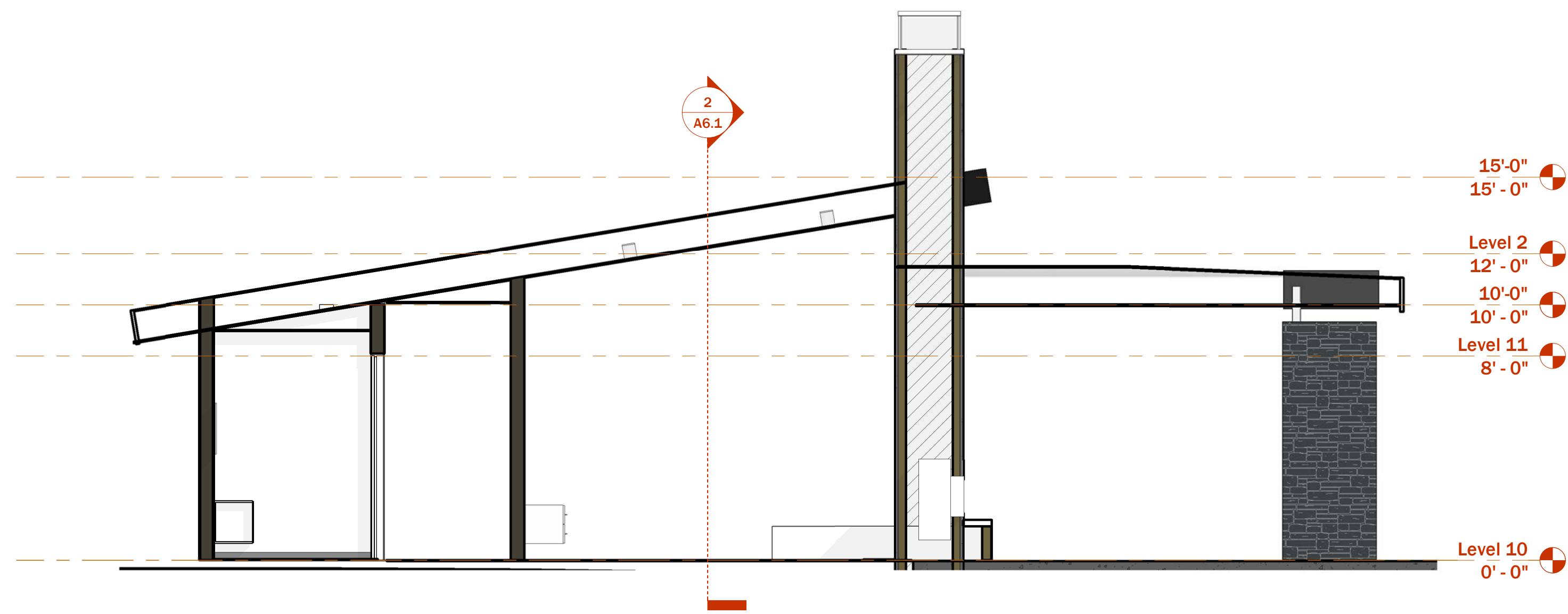


① Garage North
3/8" = 1'-0"

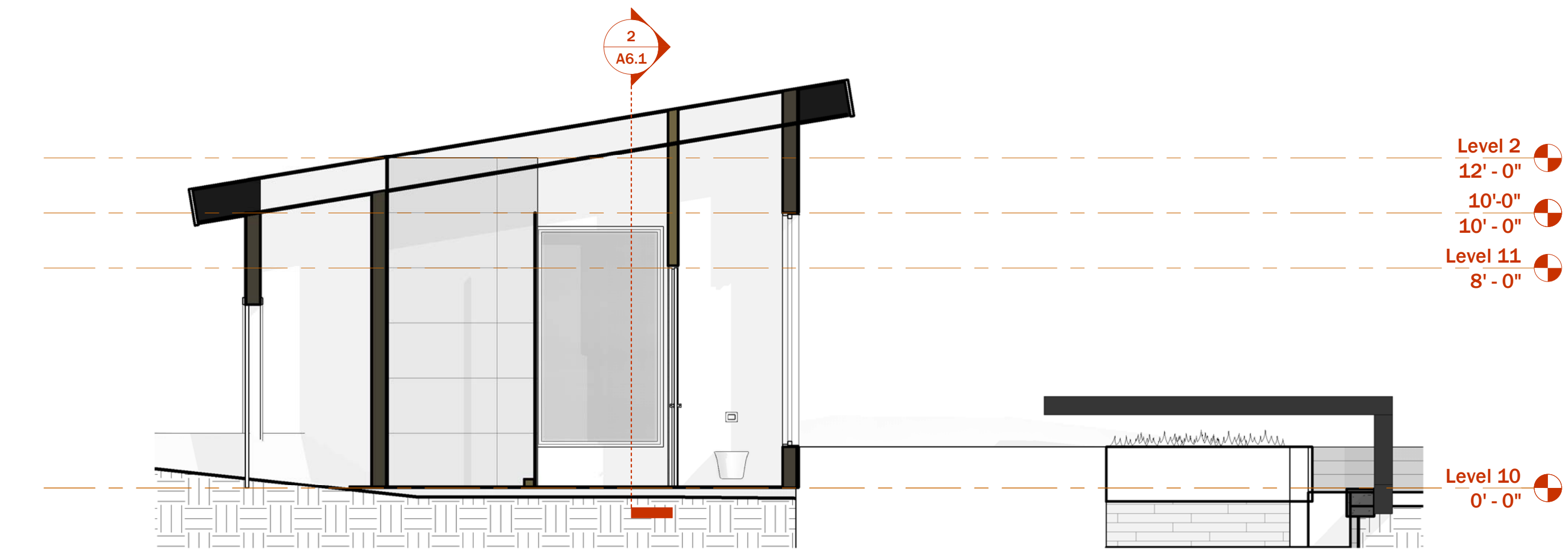


② Garage Left
3/8" = 1'-0"

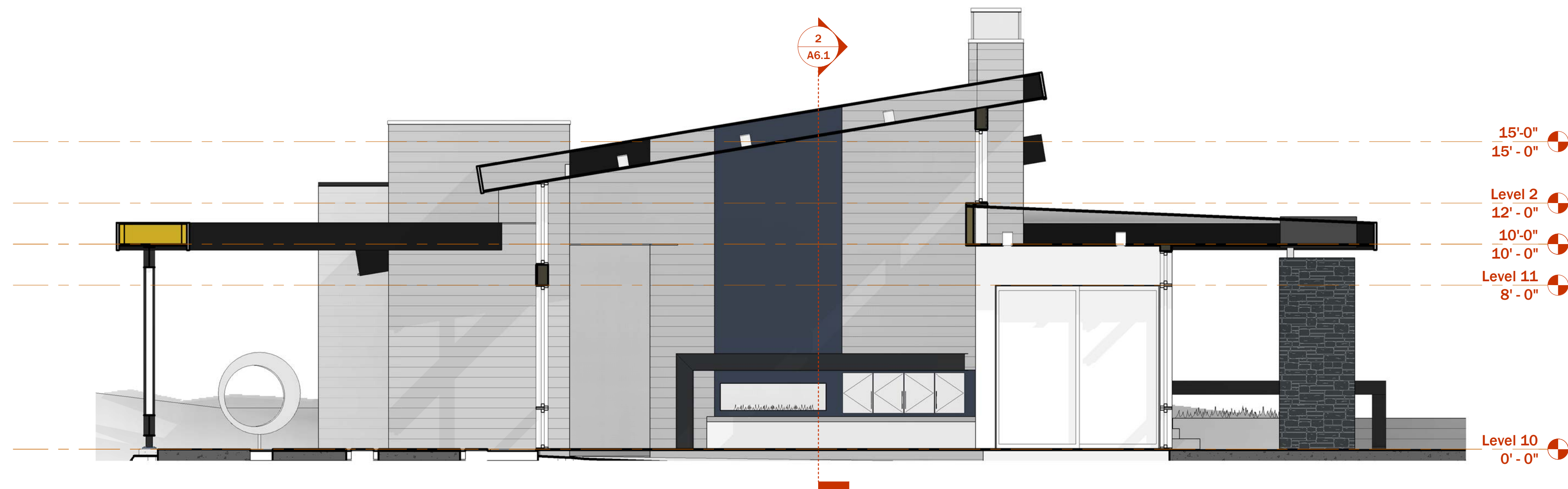
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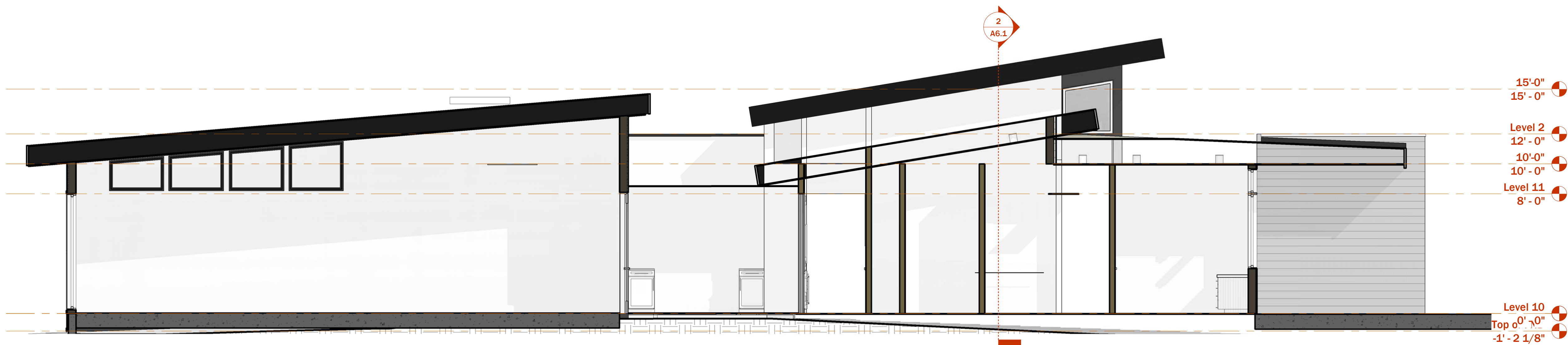
② Section 2
1/4" = 1'-0"



① Section 1
1/4" = 1'-0"

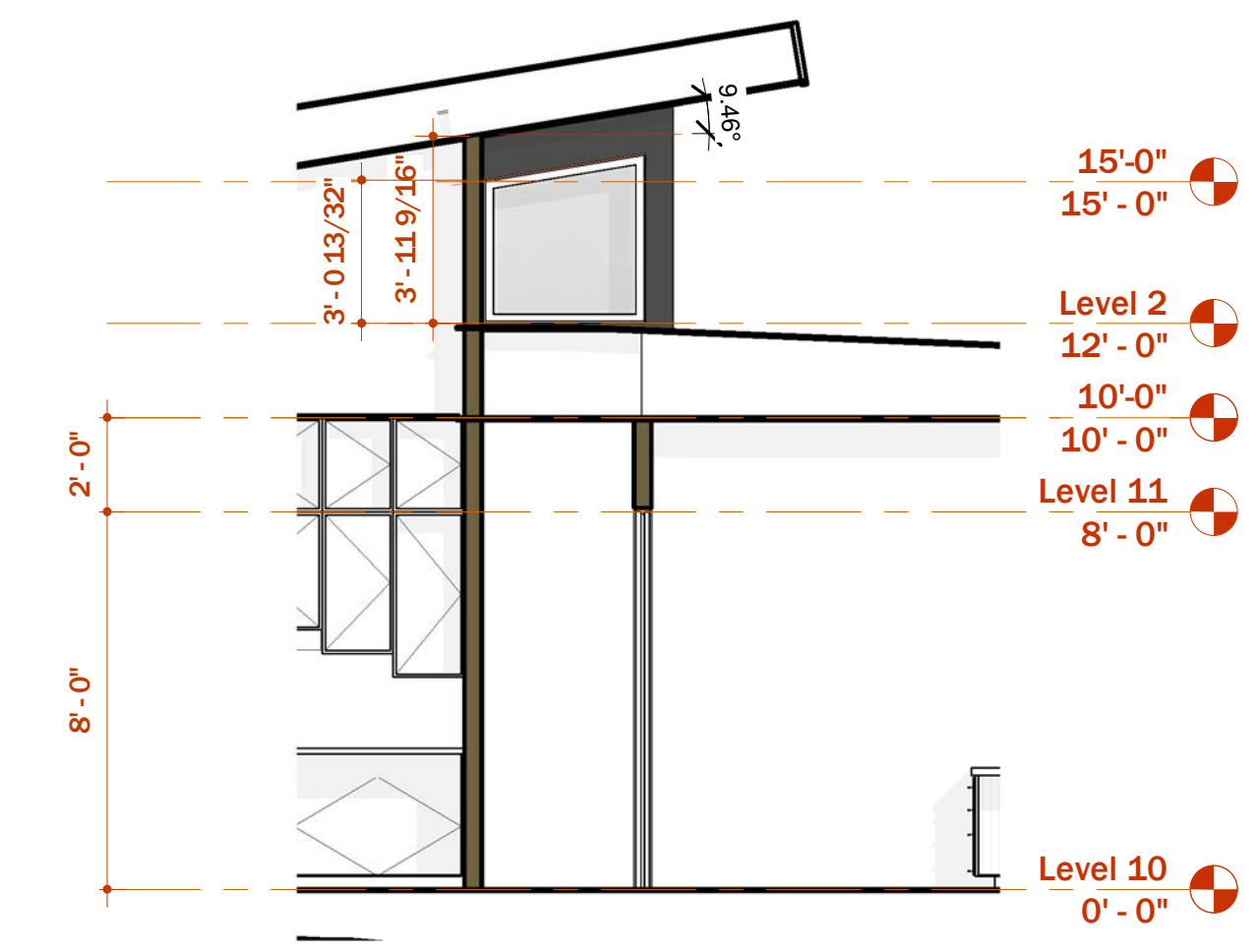


③ Section 3
1/4" = 1'-0"

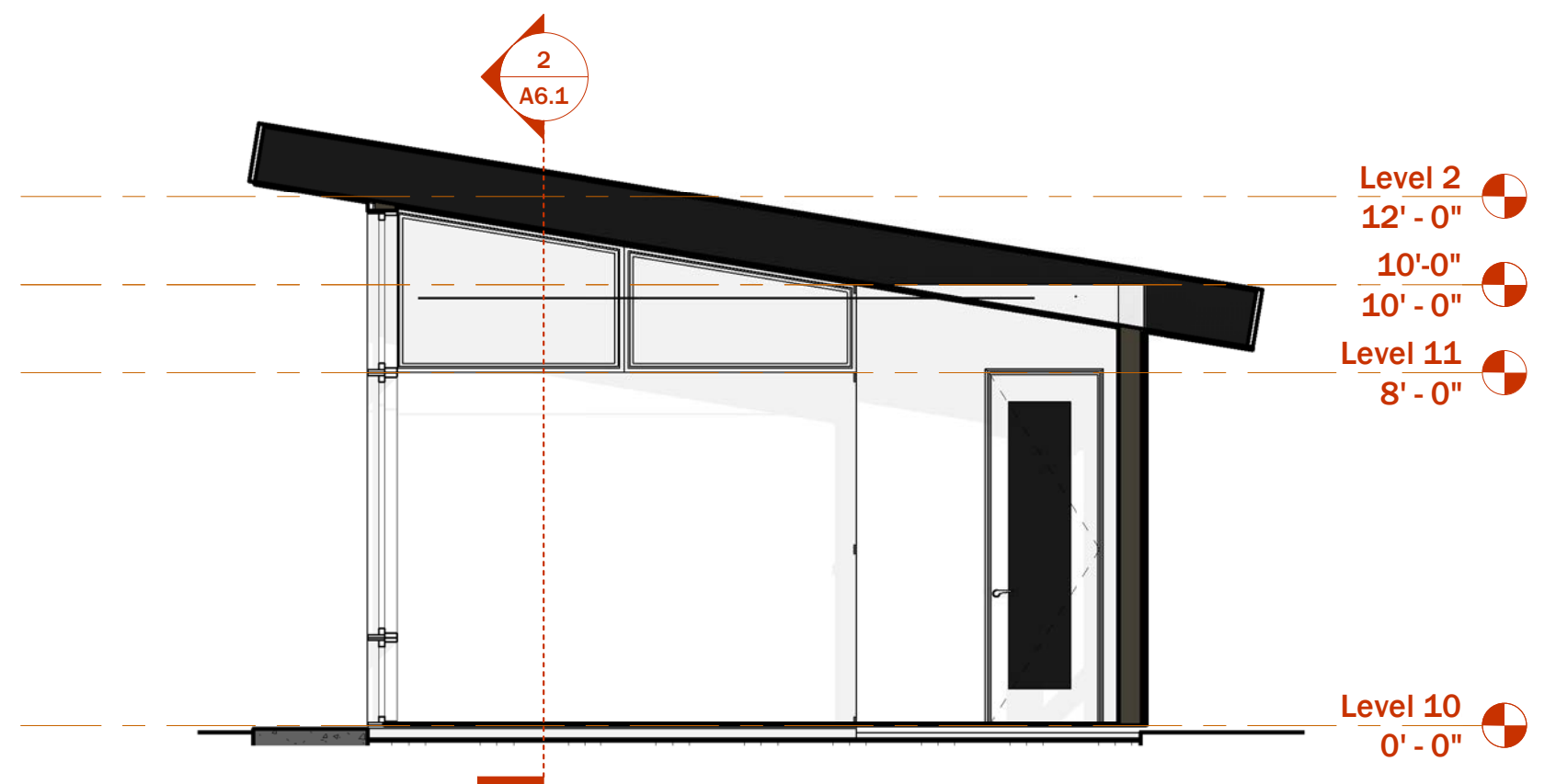


④ Section 4
1/4" = 1'-0"

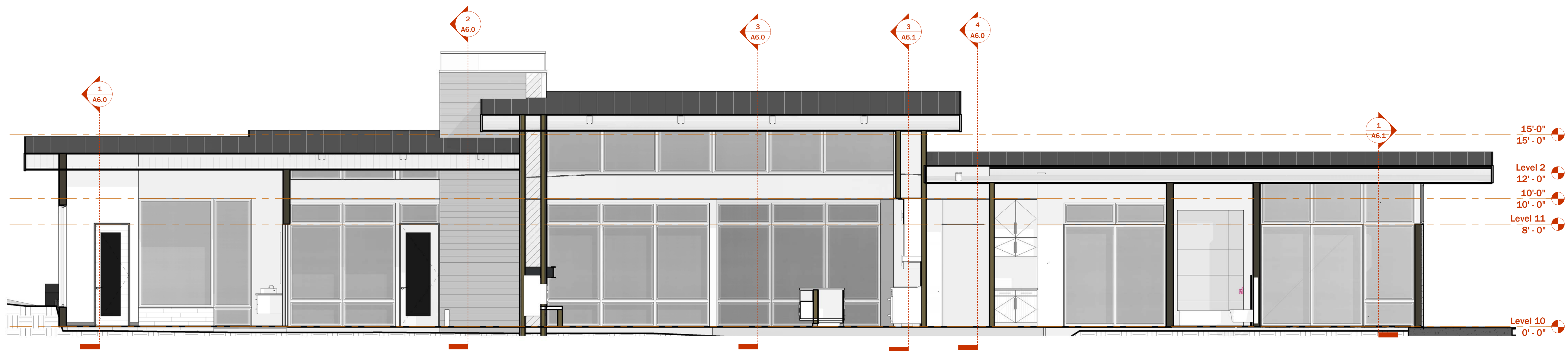
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3 Section 7
1/4" = 1'-0"



1 Section 5
1/4" = 1'-0"



2 Section 6
1/4" = 1'-0"